

C/CAG

CITY/COUNTY ASSOCIATION OF GOVERNMENTS OF SAN MATEO COUNTY

Atherton • Belmont • Brisbane • Burlingame • Colma • Daly City • East Palo Alto • Foster City • Half Moon Bay • Hillsborough • Menlo Park
Millbrae • Pacifica • Portola Valley • Redwood City • San Bruno • San Carlos • San Mateo • San Mateo County • South San Francisco • Woodside

AIRPORT LAND USE COMMITTEE (ALUC)

AGENDA

Date: September 26, 2019
Time: **4:00 p.m.**
Place: Burlingame City Hall – Council Chambers
501 Primrose Road
Burlingame, California

- | | | |
|--|--|--------|
| 1. Call to Order/Roll Call | Action
(Ortiz) | |
| 2. Public Comment on Items not on the Agenda | Limited to 2
minutes per
speaker | |
| 3. Approval of Minutes – August 22, 2019 | Action
(Ortiz) | Page 1 |
| 4. San Francisco International Airport Comprehensive Airport Land Use Compatibility Plan Consistency Review –1095 Rollins Road, Burlingame, including a General Plan Amendment, Rezoning and related entitlements to allow construction of a six-story, 150-unit residential building. | Action
(Kalkin) | Page 3 |
| 5. Member Comments/Announcements | Information | |
| 6. Items from Staff | Information | |
| 7. Adjournment – <i>Next regular meeting – October 24, 2019</i> | | |

NOTE: **All items appearing on the agenda are subject to action by the Committee.**
Actions recommended by staff are subject to change by the Committee.

If you have any questions regarding the C/CAG Airport Land Use Committee Meeting Agenda, please contact Susy Kalkin at 650-599-1467 or Sandy Wong at 650-599-1409.

PUBLIC NOTICING: All notices of C/CAG regular Board meetings, standing committee meetings, and special meetings will be posted at the San Mateo County Transit District Office, 1250 San Carlos Ave., San Carlos, CA, and on C/CAG's website at: <http://www.ccag.ca.gov>.

PUBLIC RECORDS: Public records that relate to any item on the open session agenda for a regular Board meeting, standing committee meeting, or special meeting are available for public inspection. Those public records that are distributed less than 72 hours prior to a regular Board meeting are available for public inspection at the same time they are distributed to all members, or a majority of the members, of the Board. The Board has designated the City/County Association of Governments of San Mateo County (C/CAG), located at 555 County Center, 5th Floor, Redwood City, CA 94063, for the purpose of making public records available for inspection. Such public records are also available on C/CAG's website at: <http://www.ccag.ca.gov>.

PUBLIC PARTICIPATION: Public comment is limited to two minutes per speaker. Persons with disabilities who require auxiliary aids or services in attending and participating in this meeting should contact Mima Guilles at (650) 599-1406, five working days prior to the meeting date.

**Airport Land Use Committee (ALUC)
Meeting Minutes
August 22, 2019**

1. Call to Order/Roll Call

Chair Ortiz called the meeting to order at 4:02 pm. The attendance sheet is attached.

2. Public Comment On Items Not On The Agenda

None

3. Minutes of the April 25, 2019 Meeting

Motion: Member O'Connell moved, and Member Nagales seconded, approval of the April 25, 2019 minutes. Motion carried unanimously (8-0).

4. San Francisco International Airport Land Use Compatibility Plan Consistency Review – Jefferson Unified High School District (JUHS) Faculty and Staff Housing Project, including General Plan and Zoning Amendments and related entitlements to allow construction of a four-story, 122-unit residential building on a 3.3 acre site at 699 Serramonte Boulevard, Daly City.

Susy Kalkin, C/CAG staff, presented the staff report, noting Daly City had amended its request (after the staff report was published) from a maximum height of 48 feet to 55 feet maximum.

Committee member Nagales, noting the strong need for such a development, commended Daly City on the project.

Motion: Member Nagales moved, and Vice-Chair Oliva seconded approval of the item. Motion carried unanimously (8-0).

5. Member Comments/Announcement

None

6. Items from Staff

Staff advised that, as a result of an issue that arose at the last ALUC meeting regarding application of Overflight Policy 2 of the San Carlos Airport ALUCP, a consultant has been retained to provide additional clarity and to potentially propose amendments to the Policy. Chair Ortiz noted his appreciation for this approach.

7. Adjournment

The meeting was adjourned at 4:10 pm.

2019 C/CAG Airport Land Use Committee Attendance Report

Name	Agency	Jan 2019	April 2019	August 2019		
Terry O'Connell	City of Brisbane	X	X	X		
Ricardo Ortiz	City of Burlingame	X <small>(arrived 4:07)</small>	X	X		
Roderick Daus-Magbual	City of Daly City					
Sanjay Gehani	City of Foster City			X		
Adam Eisen	City of Half Moon Bay					
Ann Oliva	City of Millbrae	X	X	X		
Shelly Masur	City of Redwood City	X	X			
Laura Davis	City of San Bruno	X	X	Y		
Adam Rak	City of San Carlos	Y		X		
Warren Slocum	County of San Mateo and Aviation Representative					
Mark Nagales	City of South San Francisco	X	X	X		
Carol Ford	Aviation Representative	X	X			
Dave Williams	Half Moon Bay Airport Pilots Association	X	X <small>(arrived 4:05)</small>	X		

X - Committee Member Attended
Y – Designated Alternate Attended

Staff and guests in attendance for the August 22, 2019 meeting: Susy Kalkin, Brian Branscomb, Nile Ledbetter (SFO), Kenneth Klebanoff (Brookwood Advisors, Project App)

C/CAG AGENDA REPORT

Date: September 26, 2019

To: Airport Land Use Committee

From: Susy Kalkin

Subject: San Francisco International Airport Comprehensive Airport Land Use Compatibility Plan Consistency Review – 1095 Rollins Road, Burlingame, including a General Plan Amendment, Rezoning and related entitlements to allow construction of a six-story, 150-unit residential building.

(For further information or response to questions, contact Susy Kalkin at 650-599-1467 or kkalkin@smcgov.org)

RECOMMENDATION

That the C/CAG Airport Land Use Committee (ALUC) recommend to the C/CAG Board of Directors, that the C/CAG Board, acting as the Airport Land Use Commission, determine that the proposed 1095 Rollins Road Project, including a General Plan Amendment, Rezoning and related entitlements, is consistent with the applicable airport/land use policies and criteria contained in the Comprehensive Airport Land Use Compatibility Plan for the Environs of San Francisco International Airport (SFO ALUCP), subject to the following conditions:

1. Prior to issuance of a building permit, the project sponsor shall file Form 7460-1 with the FAA, and provide to the City of Burlingame an FAA determination of no hazard to air navigation.
2. The City of Burlingame shall require that the project sponsor comply with the real estate disclosure requirements outlined in Policy IP-1 of the SFO ALUCP.

DISCUSSION

Project Description

The project includes the construction of a six-story, 150-unit apartment building on a 1.08-acre site along Rollins Road, just south of the Broadway/US101 interchange. Among other entitlements, the project includes requests for both a General Plan Amendment and rezone from "Commercial (Shopping & Service)" and "C-1 (Commercial)," respectively, to "High Density Residential " and "R-4 (Multifamily Residential)".

ALUCP Consistency Evaluation

California Government Code Section 65302.3 states that a local agency General Plan and/or any affected specific plan must be consistent with the applicable airport/land use criteria in the relevant adopted Airport Land Use Compatibility Plan (ALUCP). The City of Burlingame has referred the

subject project to C/CAG, acting as the San Mateo County Airport Land Use Commission, for a determination of consistency with the SFO ALUCP.

The SFO ALUCP contains policies and criteria to address four issues: (a) aircraft noise impacts; (b) safety compatibility criteria; (c) height of structures/airspace protection; and (d) overflight notification. The following sections describe the degree to which the project is compatible with each.

(a) Aircraft Noise Impacts

The 65 dB CNEL (Community Noise Equivalent Level) aircraft noise contour defines the threshold for airport noise impacts established in the SFO ALUCP. All land uses located outside this contour are deemed consistent with the noise policies of the SFO ALUCP.

As shown on Attachment 2, the subject property lies outside the bounds of the 65dB CNEL contour, and therefore the project is consistent with the SFO ALUCP noise policies and criteria.

(b) Safety Compatibility

The SFO ALUCP includes five safety zones and related land use compatibility policies and criteria. As shown on Attachment 3, the project site does not lie within any of the safety zones and therefore the project would be consistent with the safety zone policies of the SFO ALUCP.

(c) Height of Structures/Airspace Protection

Pursuant to the SFO ALUCP, airspace protection compatibility of proposed land uses within its AIA is evaluated in accordance with the following criteria: (1) 14 Code of Federal Regulations Part 77 (FAR Part 77), “Safe, Efficient Use and Preservation of the Navigable Airspace”, which establishes the standards for determining obstructions to air navigation; and (2) FAA notification surfaces.

In order to be deemed consistent with the ALUCP, the maximum height of a new building must be the lower of (1) the height shown on the airspace protection surfaces map or (2) the maximum height determined not to be a “hazard to air navigation” by the FAA in an aeronautical study prepared pursuant to the filing of Form 7460-1.

The single building in the project is, at its topmost point, 78’ 2” tall, with a ground elevation of approximately 13.5 feet above mean sea level (MSL), resulting in an overall height of about 92 ft above MSL. Utilizing SFO’s online iALP Airspace Tool, it has been determined that the top of the proposed building would be more than 71 feet below the critical airspace surfaces in the area, as shown on Attachment 4. However, as shown on the Attachment 5, the Project is located in an area that requires FAA notification for projects greater than 65-100 feet tall, so the project sponsor will be required to comply with these requirements. Accordingly, the following condition of approval is included:

- Prior to issuance of a building permit, the project sponsor shall file Form 7460-1 with the FAA, and provide to the City of Burlingame an FAA determination of no hazard to air navigation.

(d) Overflight Notification

The project site is located within the Airport Influence Area (AIA) of SFO, the real estate disclosure area. Pursuant to Policy IP-1, notification is required, prior to sale or lease of property located within the AIA, of the proximity of the airport and that therefore the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations.

As this disclosure requirement is not included in the above referenced general plan policies or application materials, the following condition is proposed:

- The City of Burlingame shall require that the project sponsor comply with the real estate disclosure requirements outlined in Policy IP-1 of the SFO ALUCP.

ATTACHMENTS

1. ALUCP application, together with related project description and plan set excerpts
2. SFO ALUCP Exh. IV-5 - Noise Compatibility Zones
3. SFO ALUCP Exh. IV-7 Safety Compatibility Zones
4. SFO iALP Airspace Tool Point Analysis
5. SFO ALUCP Exh. IV-12 FAA Notification Areas



APPLICATION FOR LAND USE CONSISTENCY DETERMINATION
San Mateo County Airport Land Use Commission
C/CAG ALUC

APPLICANT INFORMATION

Agency: **Burlingame Community Development Dept. - Planning Division**

Project Name: **1095 Rollins Road**

Address: **1095 Rollins Road**

APN: **026-231-250; 026-231-260**

City: **Burlingame**

State: **CA**

ZIP Code: **94010**

Staff Contact: **Catherine Keylon**

Phone: **(650)558-7252**

Email: **ckeylon@burlingame.org**

PROJECT DESCRIPTION

Project will include demolition of all existing onsite structures for the construction of a new 6-story, 150 unit multifamily apartment building.

The project will contain 5 levels of Type IIIA construction over 1 level of Type IA construction, all over 1 level of subterranean garage, which

will include 192 surface and stacked parking spaces. The project is seeking a General Plan Amendment and rezone from "Commercial (Shopping & Service)" and "C-1 (Commercial)," respectively, to "High Density Residential " and "R-4 (Multifamily Residential)." Applicant is also seeking

a Conditional Use Permit for the project to exceed 35' in height, but the project will not exceed Burlingame's 75' maximum height limit.

REQUIRED PROJECT INFORMATION

For General Plan, Specific Plan or Zoning Amendments and Development Projects:

A copy of the relevant amended sections, maps, etc., together with a detailed description of the proposed changes, sufficient to provide the following: **SEE ATTACHED SHEET**

1. Adequate information to establish the relationship of the project to the three areas of Airport Land Use compatibility concern (ex. a summary of the planning documents and/or project development materials describing how ALUCP compatibility issues are addressed):

- a) Noise: Location of project/plan area in relation to the noise contours identified in the applicable ALUCP.

- Identify any relevant citations/discussion included in the project/plan addressing compliance with ALUCP noise policies.

- b) Safety: Location of project/plan area in relation to the safety zones identified in the applicable ALUCP.

- Include any relevant citations/discussion included in the project/plan addressing compliance with ALUCP safety policies.

- c) Airspace Protection:

- Include relevant citations/discussion of allowable heights in relation to the protected airspace/proximity to airport, as well as addressment of any land uses or design features that may cause visual, electronic, navigational, or wildlife hazards, particularly bird strike hazards.

- If applicable, identify how property owners are advised of the need to submit Form 7460-1, *Notice of Proposed /Construction or Alteration* with the FAA.

2. Real Estate Disclosure requirements related to airport proximity
3. Any related environmental documentation (electronic copy preferred)
4. Other documentation as may be required (ex. related staff reports, etc.)

Additional information For Development Projects:

1. 25 sets of scaled plans, no larger than 11" x 17"
2. Latitude and longitude of development site
3. Building heights relative to mean sea level (MSL)

ALUCP Plans can be accessed at <http://ccag.ca.gov/plansreportslibrary/airport-land-use/>

Please contact C/CAG staff at 650 599-1467 with any questions.

<i>For C/CAG Staff Use Only</i>
<i>Date Application Received</i>
<i>Date Application Deemed Complete</i>
<i>Tentative Hearing Dates:</i>
- <i>Airport Land Use Committee</i>
- <i>C/CAG ALUC</i>

Application for Land Use Consistency – San Mateo County Airport Land Use Commission

Project Name: 1095 Rollins Road, Burlingame, CA 94010

Agency: Burlingame Community Development Department – Planning Division

Staff Contact: Catherine Keylon (ckeylon@burlingame.org; (650) 558-7252)

Project Sponsor: Hanover Company

- 1) Adequate information to establish the relationship of the project to the three areas of Airport Land Use compatibility concern:
 - a. Noise: *See SFO “Airport Influence Area B” map attached with project location identified. Project is NOT located in the ‘Outer Boundary of Safety Zones,’ ‘CNEL Contour, 2020 Forecast,’ or ‘Outer Boundary for TERPS Approach and OEI Departure Surfaces.’ The project is within the ‘14 CFR Part 77 Conical Surface.’*
 - b. Safety: *Same as above.*
 - c. Airspace Protection: *The roof and roof parapet heights of the proposed project do not exceed the City of Burlingame’s maximum height limit of 75 feet. The top of the two (2) elevator penthouses is 78 feet, 2 ½ inches, which complies with Burlingame’s municipal code.*
 - d. If applicable, identify how property owners are advised of the need to submit Form 7460-1, “Notice of Proposed Construction or Alteration” with the FAA: *Not applicable.*
- 2) Real Estate Disclosure requirements related to airport proximity: *Not applicable.*
- 3) Any related environmental documents: *Project CEQA document is in process and assumes Mitigated Negative Declaration (MND). CEQA Project Description is attached.*
- 4) Other documentation as may be required: *See attached Burlingame Planning Department Staff Report submitted to Planning Commission prior to Design Review/CEQA Scoping Session held on 1/28/19.*

Additional Information for Development Projects:

- a. Project coordinates:
 - i. *Latitude: 37°35'18.5"N*
 - ii. *Longitude: 122°21'36.1"W*
- b. Building heights relative to mean sea level (MSL):
 - i. *See attached exhibit*



TOP OF BUILDING
CORNER ELEVATION 73.8'
ABOVE MEAN SEA LEVEL

TOP OF BUILDING
CORNER ELEVATION 92.2'
ABOVE MEAN SEA LEVEL

TOP OF BUILDING
CORNER ELEVATION 82.2'
ABOVE MEAN SEA LEVEL

TOP OF BUILDING
CORNER ELEVATION 82.2'
ABOVE MEAN SEA LEVEL

TOP OF BUILDING
CORNER ELEVATION 84.7'
ABOVE MEAN SEA LEVEL

TOP OF BUILDING
CORNER ELEVATION 74.8'
ABOVE MEAN SEA LEVEL

NOTE: ELEVATIONS SHOWN IN RELATION TO MEAN SEA LEVEL (MSL) ARE APPROXIMATE, AND BASED ON A DATUM CONVERSION IN RELATION TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). IT IS ASSUMED THAT MEAN SEA LEVEL IS AT ELEVATION 3.3' ON NAVD 88.



1095 ROLLINS ROAD, BURLINGAME
PLANNING RE-SUBMITTAL
DECEMBER 19th, 2018

PROJECT SUMMARY

PROJECT DESCRIPTION

1095 ROLLINS ROAD IS LOCATED BETWEEN CADILLAC WAY TO THE WEST AND TOYON DRIVE TO THE EAST. THE PROJECT WILL INCLUDE DEMOLITION OF ALL EXISTING ON-SITE STRUCTURES FOR THE CONSTRUCTION OF A NEW 6-STORY PRIVATELY FUNDED, MULTIFAMILY RESIDENTIAL BUILDING. THE PROJECT CONTAINS 5 LEVELS OF TYPE IIA CONSTRUCTION OVER 1 LEVEL OF TYPE I CONSTRUCTION, ALL OVER A 1 LEVEL SUBTERRANEAN GARAGE CONTAINING BOTH SURFACE AND STACKED PARKING. THE PROJECT CONSISTS OF 160 APARTMENT UNITS AND A TOTAL OF 182 OFF-STREET PARKING SPACES. 10% OF THE APARTMENTS (16) WILL BE DESIGNATED AFFORDABLE FOR MODERATE INCOME HOUSEHOLDS.

THE CURRENT GENERAL PLAN LAND USE DESIGNATION FOR THE SUBJECT PROPERTY IS COMMERCIAL (SHOPPING & SERVICE) AND THE ZONING IS C-2 (COMMERCIAL). THE PROJECT APPLICANT IS SEEKING A GENERAL PLAN AMENDMENT AND ZONE TO CHANGE THE LAND USE TO HIGH DENSITY RESIDENTIAL AND THE ZONING TO R11 MULTIFAMILY RESIDENTIAL. APPLICANT IS ALSO SEEKING A CONDITIONAL USE PERMIT, ALLOWING THE BUILDING HEIGHT TO EXCEED 35 FEET. THE PROJECT WILL PARTICIPATE IN THE CITY'S DENSITY BONUS PROGRAM BY DESIGNATING 10% OF THE APARTMENTS (16) TO BE AFFORDABLE FOR MODERATE INCOME HOUSEHOLDS. AND WILL USE ITS DEVELOPMENT CONCESSION TO UTILIZE PARKING STACKERS IN THE GARAGE. THE PROJECT SEEKS TO CONCURRENTLY COMBINE THE 2 SUBJECT PARCELS VIA A VESTING TENTATIVE MAP UNDER A SEPARATE APPLICATION.

APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE & AMENDMENTS (CBC)
- 2016 CALIFORNIA MECHANICAL CODE & AMENDMENTS (CMC)
- 2016 CALIFORNIA PLUMBING CODE & AMENDMENTS (CPC)
- 2016 CALIFORNIA ELECTRICAL CODE & AMENDMENTS (CEC)
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA FIRE CODE & AMENDMENTS (CFC)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2013 NFPA 13
- 2013 NFPA 14
- 2013 NFPA 72

- 2016 CALIFORNIA BUILDING CODE CHAPTER 11A
- 2016 CALIFORNIA BUILDING CODE CHAPTER 11B

FAIR HOUSING ACT

BURLINGAME BUSINESS LICENSE

JONATHAN ENNIS #32887

PARKING

PARKING REQUIRED	PARKING PROVIDED	CARS PER	QTY	TOTAL
1 SPACE PER 1BD / STUDIO = 08	4-HIGH STACKER (PIT)	22	5	110
2 SPACES PER 2BD = 82	4-HIGH STACKER (PIT)	14	1	14
	2-HIGH STACKER (SURFACE)	11	4	44
	2-HIGH STACKER (SURFACE)	5	2	10
	REGULAR PARKING	1	2	10
	ADA	1	5	5
TOTAL PARKING REQ=	191	TOTAL PARKING PROVIDED		192

PROJECT TEAM

APPLICANT:
THE HANOVER COMPANY
156 DIABLO ROAD., SUITE 220
DANVILLE, CA 94526
P: 925.480.2990

CONTACT: SCOTT YODALL

ARCHITECT:
BDE ARCHITECTURE INC.
950 HOWARD STREET
SAN FRANCISCO, CA 94103
P: 415.677.0986

CONTACT: JONATHAN ENNIS, AIA

CIVIL ENGINEER:
BKF ENGINEERS
150 CALIFORNIA ST., STE 600
SAN FRANCISCO, CA 94111
P: 415.930.7900

CONTACT: MIKE O'CONNELL

JOINT TRENCH:
SACALONE DESIGN SERVICES, INC.
5820 STONERIDGE MALL ROAD, SUITE 345
PLEASANTON, CA 94666
P: 925.467.1740

CONTACT: ARNOLD SAENZ, JR

LANDSCAPE:
GWH LANDSCAPE ARCHITECTS
5847 SAN FELIPE, SUITE 3600
HOUSTON, TX 77057
P: 713.287.2100

CONTACT: MATT SHEARER

SHEET INDEX

ARCHITECTURE	CIVIL	LANDSCAPE
A0.0 COVER SHEET	C1.0 TITLE SHEET	L1.0 FLOOR 1 PLAN
A0.1 PROJECT INFO	C2.0 EXISTING CONDITIONS	L1.1 FLOOR 2 PLAN
A0.2 SITE CONTOUR	C2.1 PRELIMINARY DEMOLITION PLAN	L1.2 FLOOR 6 PLAN
A0.3A AREA DIAGRAMS	C2.2 PRELIMINARY PARCELIZATION PLAN	L1.3 PLANTING IMAGERY
A0.3B ALLOWABLE OPENINGS	C3.0 PRELIMINARY SITE PLAN	L1.4 HARDSCAPE IMAGERY
A0.4 EGRESS DIAGRAMS	C3.1 FIRE ACCESS PLAN	L1.5 LANDSCAPE DETAILS
A0.50 ACCESSIBILITY COMPLIANCE DIAGRAMS 11A	C4.0 PRELIMINARY GRADING PLAN	L1.6 IRRIGATION WATER CALCS.
A0.51 ACCESSIBILITY COMPLIANCE DIAGRAMS 11A	C5.0 PRELIMINARY UTILITY PLAN	L2.0 PLANTING LEGEND
A0.52 ACCESSIBILITY COMPLIANCE DIAGRAMS 11A	C6.0 PRELIMINARY STORMWATER CONTROL PLAN	L2.1 FLOOR 1 PLANTING PLAN
A0.53 ACCESSIBILITY COMPLIANCE DIAGRAMS 11B	C7.0 PRELIMINARY EROSION CONTROL PLAN	L2.2 FLOOR 2 PLANTING PLAN
A0.54 ACCESSIBILITY COMPLIANCE DIAGRAMS 11B	C7.1 CONSTRUCTION BMPs	L2.3 FLOOR 6 PLANTING PLAN
A0.55 ACCESSIBILITY COMPLIANCE DIAGRAMS 11B	C8.0 CITY STANDARD DETAILS	L2.5 FRONT SETBACK SOFTSCAPE
A0.60 SIGNAGE DETAILS	C8.1 CITY STANDARD DETAILS	
A0.61 SIGNAGE DETAILS	C8.2 CITY STANDARD DETAILS	
A0.62 SIGNAGE DETAILS	C8.3 DETAILS	
A1.0 SITE PLAN		
A2.0 BASEMENT PLAN		
A2.1 FLOOR 1 PLAN		
A2.2 FLOOR 2 PLAN		
A2.3 FLOOR 3 - 5 PLAN		
A2.4 FLOOR 6		
A2.5 ROOF		
A3.0 BUILDING ELEVATION		
A3.1 BUILDING ELEVATION		
A3.2 BUILDING ELEVATION		
A3.3 BUILDING SECTIONS		
A3.4 LOT COVERAGE		
A4.0 TYPICAL UNIT PLANS		
A4.1 TYPICAL UNIT PLANS		
A5.0 RENDERINGS		
A5.1 RENDERINGS		
A5.2 RENDERINGS		
A8.0 DETAILS		

UNIT MIX

UNIT MIX	COUNT	AVG. NRSF
STUDIO (23.3%)		
S1	23	500
S2	3	574
S3	9	580
1 BDRM (49.3%)		
A1	46	754
A2	20	824
A3	5	727
A4	1	806
A5	1	929
A6	1	796
2 BDRM (27.3%)		
B1	5	1,032
B2	10	1,160
B3	10	1,194
B4	5	1,189
B5	4	1,285
B6	4	1,288
B7	3	1,376
TOTAL	150	
AVG. UNIT SIZE:	833	
TOTAL NRSF:	126,000	
BLDG GROSS SF:	195,000	

GENERAL NOTES

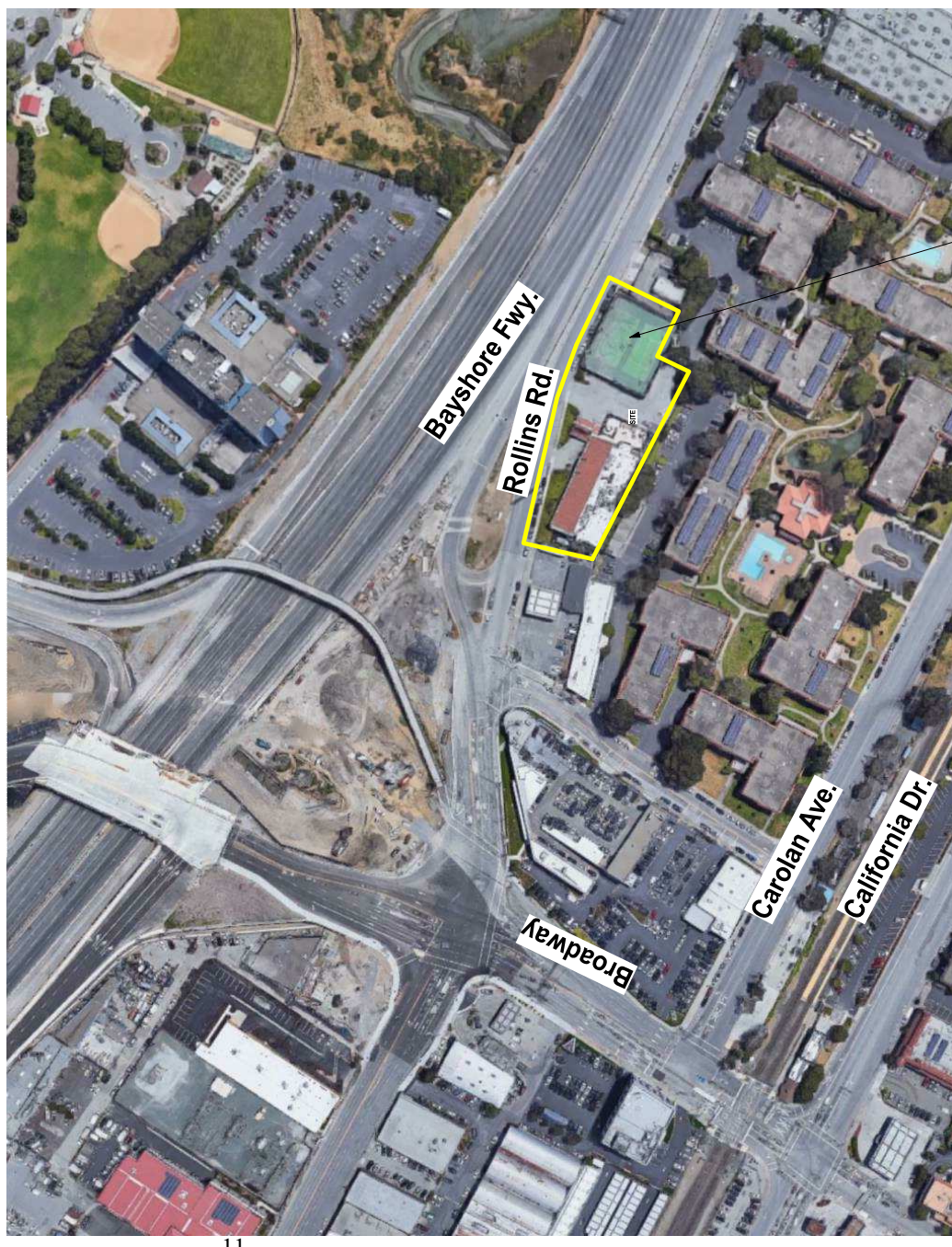
- Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission.
- 100% of units shall be adaptable per CBC 2016 Chapter 11A
- All common areas shall be accessible per CBC 2016 Chapter 11A
- All public areas shall be accessible per CBC 2016 Chapter 11B
- At the time of Building Permit application, plans and engineering will be submitted for shoring as required by 2016 CBC, Chapter 31 regarding the protection of adjacent property and as required by OSHA. On the plans, indicate that the following will be addressed:
 - The walls of the proposed basement shall be properly shored, prior to construction activity. This excavation may need temporary shoring. A competent contractor shall be consulted for recommendations and design of shoring scheme for the excavation. The recommended design type of shoring shall be approved by the engineer of record or soils engineer prior to usage.
 - All appropriate guidelines of OSHA shall be incorporated into the shoring design by the contractor. Where space permits, temporary construction slopes may be utilized in lieu of shoring. Maximum allowable vertical cut for the subject project will be five (5) feet. Beyond that horizontal benches of 5 feet wide will be required. Temporary shores shall not exceed 1 to 1 (horizontal to vertical). In some areas due to high moisture content / water table, flatter slopes will be recommended by the soils engineer in the field.
 - If shoring is required, specify on the plans the licensed design professional that has sole responsibility to design and provide adequate shoring, bracing, formwork, etc. as required for the protection of life and property during construction of the building.
 - Shoring and bracing shall remain in place until floors, roof, and wall sheathing have been entirely constructed.
 - Shoring plans shall be wet-stamped and signed by the engineer-of-record and submitted to the city for review prior to construction. If applicable, include surcharge loads from adjacent structures that are within the zone of influence (45 degree wedge up the slope from the base of the retaining wall) and / or driveway surcharge loads.
 - OSHA permit will be obtained per CAL / OSHA requirements
 - "Construction Hours": Weekdays: 8:00am-7:00am; Saturdays: 9:00am-6:00am; Sundays & Holidays: No Work Allowed

2015 CALIFORNIA GREEN BUILDING CODE RESIDENTIAL CHECKLIST

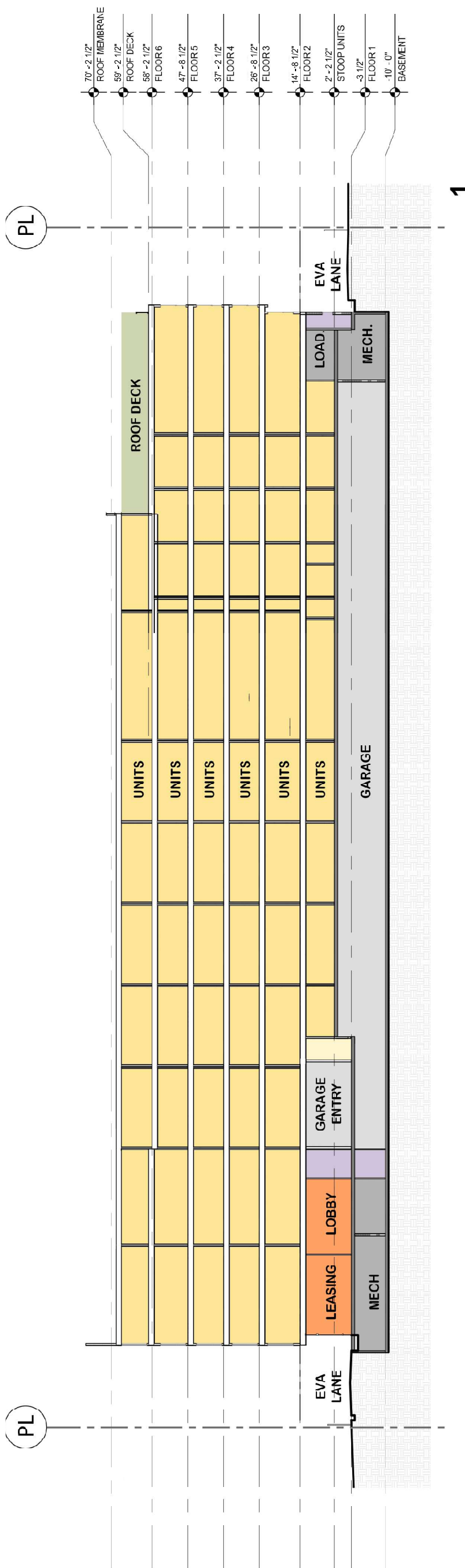
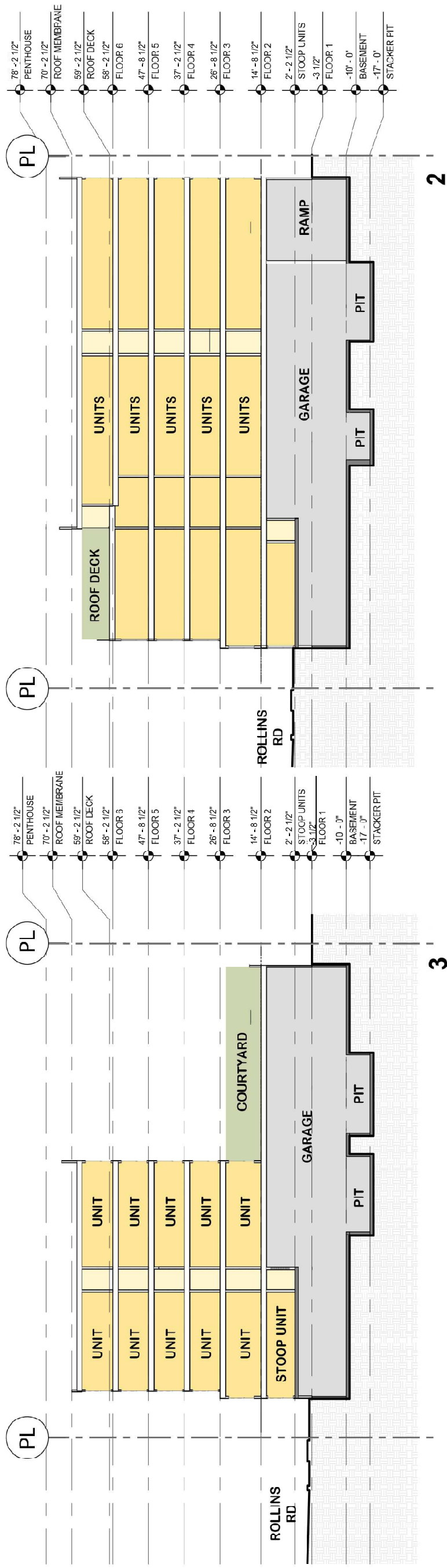
Now, take the building, must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures are required for all projects, regardless of whether they are located in the building's conditioned zone, volume, or lot. These requirements apply only to the specific area of addition or alteration.

Project Add res: 2016 CBC § 801.1.1

Green Building Measure	Plan Sheet/Details
INDOOR WATER USE (IBC § 413) The fixture flow rate of water closets, urinals, lavatories, showers, and kitchen faucets shall not exceed 1.5 gpm @ 80°F. The fixture flow rate for showers shall not exceed 2.5 gpm @ 80°F. The fixture flow rate for kitchen faucets shall not exceed 1.5 gpm @ 80°F.	2016 CBC § 413.1.1 2016 CBC § 413.1.2 2016 CBC § 413.1.3
INDOOR AIR QUALITY (IBC § 414) New residential construction shall be designed to include an area of new floor, 8 ft from the exterior wall, that is conditioned and ventilated. The area shall be conditioned and ventilated in accordance with the indoor air quality provisions of the California Green Building Code (CGBC) and the California Building Code (CBC).	2016 CBC § 414.1 2016 CBC § 414.2
CONSTRUCTION WASTE MANAGEMENT (IBC § 415) New residential construction shall be designed to include a construction waste management plan that is approved by the local authority having jurisdiction (LAHJ).	2016 CBC § 415.1 2016 CBC § 415.2
BUILDING MAINTENANCE AND OPERATION (IBC § 416) New residential construction shall be designed to include a building maintenance and operation plan that is approved by the local authority having jurisdiction (LAHJ).	2016 CBC § 416.1 2016 CBC § 416.2
ENERGY EFFICIENCY (IBC § 417) New residential construction shall be designed to include energy efficiency measures that are approved by the local authority having jurisdiction (LAHJ).	2016 CBC § 417.1 2016 CBC § 417.2 2016 CBC § 417.3 2016 CBC § 417.4 2016 CBC § 417.5 2016 CBC § 417.6 2016 CBC § 417.7 2016 CBC § 417.8 2016 CBC § 417.9 2016 CBC § 417.10 2016 CBC § 417.11 2016 CBC § 417.12 2016 CBC § 417.13 2016 CBC § 417.14 2016 CBC § 417.15 2016 CBC § 417.16 2016 CBC § 417.17 2016 CBC § 417.18 2016 CBC § 417.19 2016 CBC § 417.20 2016 CBC § 417.21 2016 CBC § 417.22 2016 CBC § 417.23 2016 CBC § 417.24 2016 CBC § 417.25 2016 CBC § 417.26 2016 CBC § 417.27 2016 CBC § 417.28 2016 CBC § 417.29 2016 CBC § 417.30 2016 CBC § 417.31 2016 CBC § 417.32 2016 CBC § 417.33 2016 CBC § 417.34 2016 CBC § 417.35 2016 CBC § 417.36 2016 CBC § 417.37 2016 CBC § 417.38 2016 CBC § 417.39 2016 CBC § 417.40 2016 CBC § 417.41 2016 CBC § 417.42 2016 CBC § 417.43 2016 CBC § 417.44 2016 CBC § 417.45 2016 CBC § 417.46 2016 CBC § 417.47 2016 CBC § 417.48 2016 CBC § 417.49 2016 CBC § 417.50 2016 CBC § 417.51 2016 CBC § 417.52 2016 CBC § 417.53 2016 CBC § 417.54 2016 CBC § 417.55 2016 CBC § 417.56 2016 CBC § 417.57 2016 CBC § 417.58 2016 CBC § 417.59 2016 CBC § 417.60 2016 CBC § 417.61 2016 CBC § 417.62 2016 CBC § 417.63 2016 CBC § 417.64 2016 CBC § 417.65 2016 CBC § 417.66 2016 CBC § 417.67 2016 CBC § 417.68 2016 CBC § 417.69 2016 CBC § 417.70 2016 CBC § 417.71 2016 CBC § 417.72 2016 CBC § 417.73 2016 CBC § 417.74 2016 CBC § 417.75 2016 CBC § 417.76 2016 CBC § 417.77 2016 CBC § 417.78 2016 CBC § 417.79 2016 CBC § 417.80 2016 CBC § 417.81 2016 CBC § 417.82 2016 CBC § 417.83 2016 CBC § 417.84 2016 CBC § 417.85 2016 CBC § 417.86 2016 CBC § 417.87 2016 CBC § 417.88 2016 CBC § 417.89 2016 CBC § 417.90 2016 CBC § 417.91 2016 CBC § 417.92 2016 CBC § 417.93 2016 CBC § 417.94 2016 CBC § 417.95 2016 CBC § 417.96 2016 CBC § 417.97 2016 CBC § 417.98 2016 CBC § 417.99 2016 CBC § 418.00



LOT SIZE = 1.075 ACRES (43,827 SF)



LEGEND

- CNEL Contour, 2020 Forecast
- Airport Property
- BART Station
- CALTRAIN Station
- School
- Place of Worship
- Hospital
- Municipal Boundary
- Railroad
- Freeway
- Road

Planned Land Use Per General Plans:

- Public
- Multi-Family Residential
- Single Family Residential
- Mixed Use
- Transit Oriented Development
- Commercial
- Industrial, Transportation, and Utilities
- Local Park, Golf Course, Cemetery
- Regional Park or Recreation Area
- Open Space
- Planned use not mapped

- Sources:**
- Noise Contour Data:**
- Draft Environmental Assessment, Proposed Runway Safety Area Program, San Francisco International Airport, URS Corporation and BridgeNet International, June 2011
- County Base Maps:**
- San Mateo County Planning & Building Department, 2007
- Local Plans:**
- Burlingame Bayfront Specific Area Plan, August 2006
 - Burlingame Downtown Specific Plan, January 2009
 - Burlingame General Map, September 1984
 - North Burlingame/ Rollins Road Specific Plan, February 2007
 - Colma Municipal Code Zoning Maps, December 2003
 - Daly City General Plan Land Use Map, 1987
 - Hillsborough General Plan, March 2005
 - Millbrae Land Use Plan, November 1998
 - Pacifica General Plan, August 1996
 - San Bruno General Plan, December 2008
 - San Mateo City Land Use Plan, March 2007
 - San Mateo County Zoning Map, 1992
 - South San Francisco General Plan, 1998

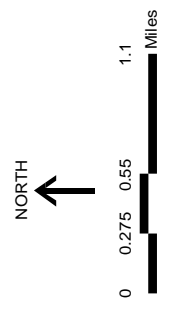
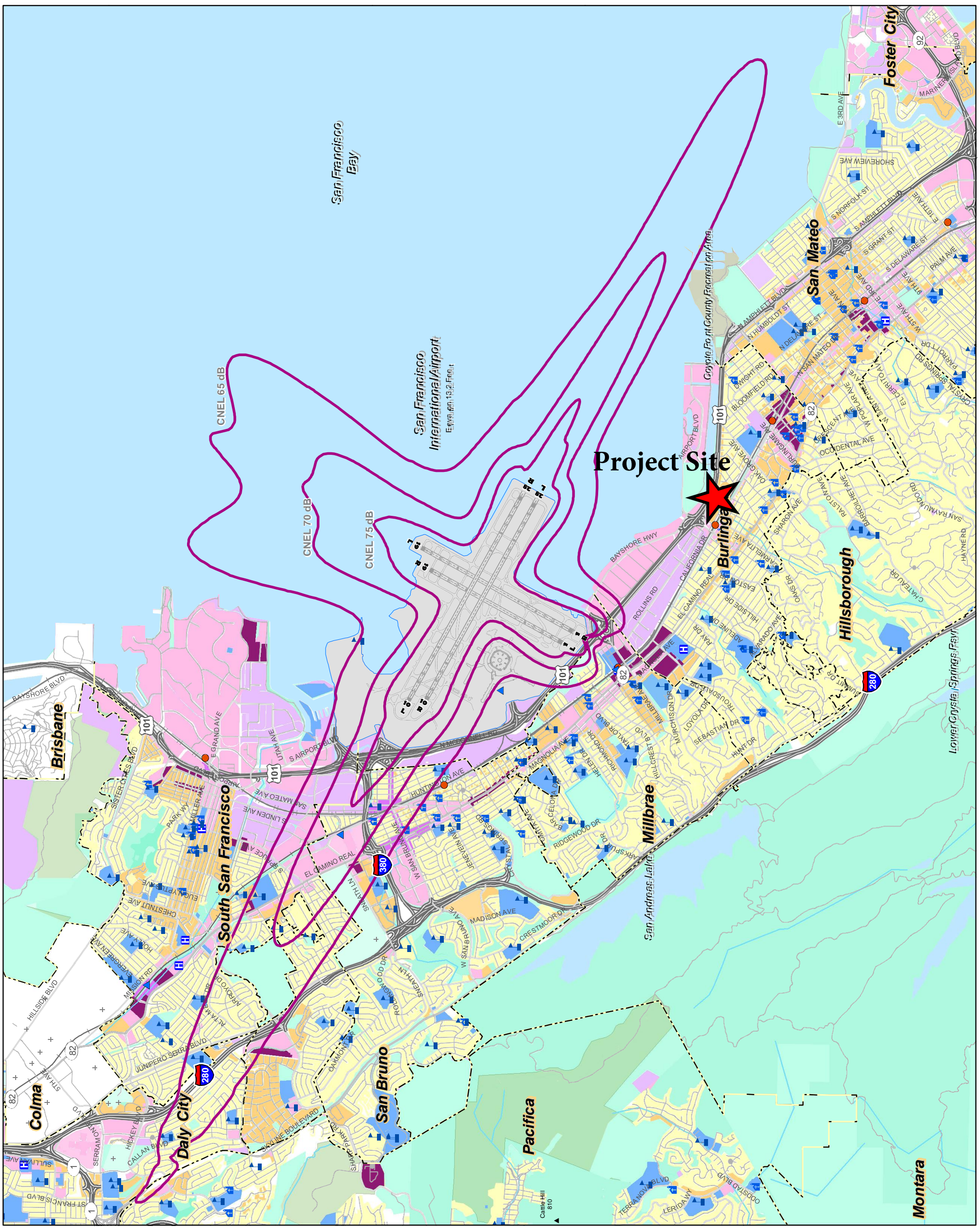


Exhibit IV-5
NOISE COMPATIBILITY ZONES
 Comprehensive Airport Land Use Plan
 for the Environs of San Francisco International Airport
CICAG
 City/County Association of Governments
 of San Mateo County, California



LEGEND

Safety Compatibility Zones

- 1 - Runway Protection Zone-Object Free Area
 - 2 - Inner Approach/Departure Zone
 - 3 - Inner Turning Zone
 - 4 - Outer Approach/Departure Zone
 - 5 - Sideline Zone
- Internal boundaries of ALP-defined areas

- Airport Property
- BART Station
- CALTRAIN Station
- School
- Place of Worship
- Hospital
- Municipal Boundary
- Railroad
- Freeway
- Road

Planned Land Use Per General Plans:

- Public
- Multi-Family Residential
- Single Family Residential
- Mixed Use
- Transit Oriented Development
- Commercial
- Industrial, Transportation, and Utilities
- Local Park, Golf Course, Cemetery
- Regional Park or Recreation Area
- Open Space
- Planned use not mapped

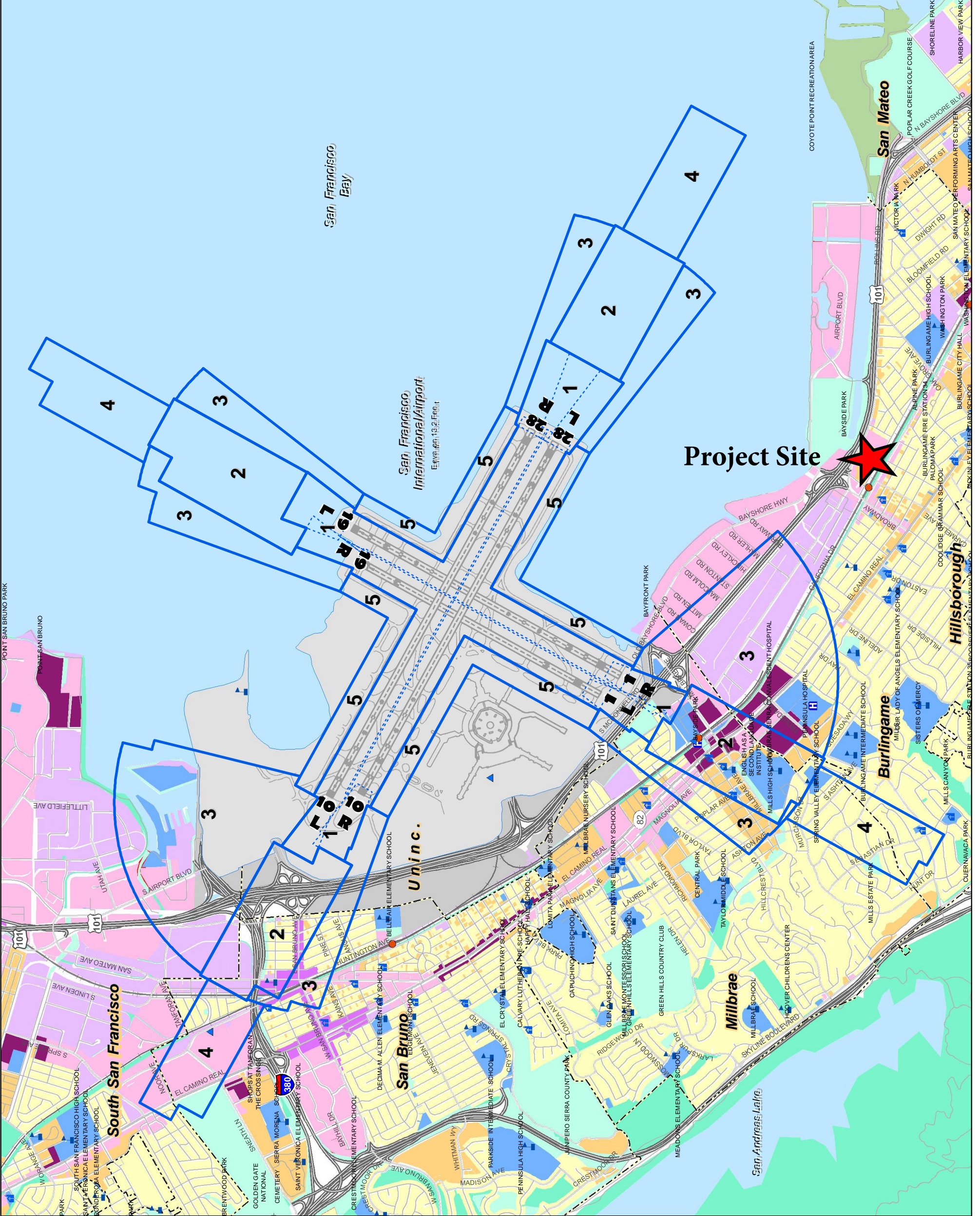
Sources:

- Safety Compatibility Zones:
- Jacobs Consultancy Team, 2009; Ricomb & Associates, Inc., 2011
- County Base Maps:
- San Mateo County Planning & Building Department, 2007
- Local Plans:
- Burlingame Bayfront Specific Area Plan, August 2006
 - Burlingame Downtown Specific Plan, January 2009
 - Burlingame General Map, September 1984
 - North Burlingame/Rollins Road Specific Plan, February 2007
 - Colma Municipal Code Zoning Maps, December 2003
 - Daly City General Plan Land Use Map, 1987
 - Hillsborough General Plan, March 2005
 - Millbrae Land Use Plan, November 1998
 - Pacifica General Plan, August 1996
 - San Bruno General Plan, December 2008
 - San Mateo City Land Use Plan, March 2007
 - San Mateo County Zoning Map, 1992
 - South San Francisco General Plan, 1998

NORTH



Exhibit IV-7
SAFETY COMPATIBILITY ZONES
 Comprehensive Airport Land Use Plan
 for the Environs of San Francisco International Airport
CICAG
 City/County Association of Governments
 of San Mateo County, California



SURFACE INTERSECTION ANALYSIS INFORMATION - AIRPORT CODE "SFO"										
Project No.: 1095 Rollins Rd, Burlingame										
Date: 09/18/19										
Description: New residential apartment complex proposed										
Model: 2-SFO_ALL_Surfaces_31JUL14										
Point Num.	Point Desc.	Latitude	Longitude	Site El.(AMSL)	Struct Ht.(AGL)	Overall Ht.(AMSL)	Max Ht.(AMSL)	Exceeds By	Under By	Surface
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	163.2		71.51	SFO_P77_19_Horizontal_Plane
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	308.54		216.85	SFO_VFR77_Exist_Conical
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	315.11		223.42	SFO_RW19LR_OEI_Corridor_092809
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	447.75		356.06	SFO_RW19R_LNAVy_Missed_Approach_O
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	448.89		357.2	SFO_RW19L_LNAVy_Missed_Approach_O
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	589.09		497.4	SFO_RW10R_RNP_2Y_Missed_Approach_O
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	630.65		538.96	SFO_RW28L_VNAV_Missed_Approach_OB
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	640		548.31	SFO_CIRCLING_CAT_B
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	725.31		633.62	SFO_RW19LR_DP_LUVVE2
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	740		648.31	SFO_CIRCLING_CAT_C
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	780.99		689.3	SFO_RW19R_IFR_NonSTND_Departure
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	860		768.31	SFO_CIRCLING_CAT_D
1	Building Center	37° 35' 18.2826"	122° 21' 36.2808"	13.49	78.2	91.69	2000		1908.31	SFO_MVA_2008
Total penetrations above surfaces: 0										
Total penetrations below surfaces: 13										
Zone Analysis(3)										
Point ID	Description	X	Y	Range	Safety Zones					
1	Building Center	6022749.411	2042073.109	Under 65 db	NA					

FAA NOTIFICATION REQUIREMENTS

A structure proponent must file FAA Form 7460-1, Notice of proposed construction or Alteration, for any proposed construction or alteration that meets any of the following Notification criteria described in 14 cFR part 77.9:

\$77.9(a) - A height more than 200 feet above ground level (AGL) at its site;

\$77.9(b) - Within 20,000 feet of a runway more than 3,200 feet in length, and exceeding a 100:1 slope imaginary surface (i.e., a surface rising 1 foot vertically for every 100 feet horizontally) from the nearest point of the nearest runway. The 100:1 surface is shown as follows:

— 100 — Elevation Above Mean Sea Level
 — 20,000 Feet Limit From Nearest Runway

Heights of 100:1 Surface Above Ground (AGL)

Terrain penetrations of Airspace Surface

- Less than 30
- 30-65
- 65-100
- 100-150
- 150-200
- 200 and more

\$77.9(c) - Roadways, railroads, and waterways are evaluated based on heights above surface providing for vehicles; by specified amounts or by the height of the highest mobile object normally traversing the transportation corridor;

\$77.9(d) - Any construction or alteration on any public-use or military airport (or heliport).

Structure proponents or their representatives may file via traditional paper forms via US mail, or online at the FAA's OE/AAA website, <http://oeaaa.faa.gov>

LEGEND

- BART Station
- cALTRAIN Station
- Municipal Boundary
- Railroad
- Freeway
- Road

Note:

per 14 cFR part 77, developers proposing structures taller than the indicated elevations must file Form 7460-1 with the FAA at least 30 days before the proposed construction. However, due to local requirements for a favorable FAA determination as a contingency for project approval, it is advisable to file the Form 7460-1 as soon as possible because the FAA can take several months to undertake aeronautical reviews.

Source:

Ricondo & Associates, Inc. and Jacobs consultancy, based on 14 cFR part 77, Subpart B, Section 77.9.

Attachment 5

NORTH



Exhibit IV-12
FAA NOTIFICATION FORM 7460-1
FILING REQUIREMENTS -- SOUTH SIDE
 comprehensive Airport Land use plan
 for the Environs of San Francisco International Airport
CICAG
 city/county Association of Governments
 of San Mateo county, california

