



APPLICATION FOR LAND USE CONSISTENCY DETERMINATION
San Mateo County Airport Land Use Commission
C/CAG ALUC

APPLICANT INFORMATION

Agency: City of San Carlos

Project Name: 642 QUARRY ROAD LIFE SCIENCE DEVELOPMENT

Address: 642 QUARRY ROAD

APN: 046-041-380

City: SAN CARLOS

State: CA

ZIP Code: 94070

Staff Contact: Lisa Costa Sanders, Principal Planner

Phone: 650-802-4207

Email: lcostasanders@cityofsancarlos.org

PROJECT DESCRIPTION

The project proposes construction of life science/research & development uses at 642 Quarry Road, northeast of the intersection of Old County Road and Quarry Road in the City of San Carlos. It includes construction of a total of 410,072 square feet of research and development life science use in two six-story buildings (100 feet to the top of the parapet and 113 feet to the top of the mechanical screen), and construction of a 933- stall parking garage with nine floors and one subsurface level (104 feet to the top of the elevator tower). The project proposed a rezoning from Light Industrial (LI) to Planned Development (PD) to allow a greater floor area ratio (2.0), building height (120 feet), and childcare use. The site is on 4.71 acres and is currently developed with a mix of commercial/industrial uses.

REQUIRED PROJECT INFORMATION PLEASE SEE ENCLOSED SUPPLEMENTAL MATERIALS AND ATTACHMENTS

For General Plan, Specific Plan or Zoning Amendments and Development Projects:

A copy of the relevant amended sections, maps, etc., together with a detailed description of the proposed changes, sufficient to provide the following:

1. Adequate information to establish the relationship of the project to the three areas of Airport Land Use compatibility concern (ex. a summary of the planning documents and/or project development materials describing how ALUCP compatibility issues are addressed):
 - a) Noise: Location of project/plan area in relation to the noise contours identified in the applicable ALUCP.
 - Identify any relevant citations/discussion included in the project/plan addressing compliance with ALUCP noise policies.
 - b) Safety: Location of project/plan area in relation to the safety zones identified in the applicable ALUCP.
 - Include any relevant citations/discussion included in the project/plan addressing compliance with ALUCP safety policies.
 - c) Airspace Protection:
 - Include relevant citations/discussion of allowable heights in relation to the protected airspace/proximity to airport, as well as addressment of any land uses or design features that may cause visual, electronic, navigational, or wildlife hazards, particularly bird strike hazards.

- If applicable, identify how property owners are advised of the need to submit Form 7460-1, *Notice of Proposed /Construction or Alteration* with the FAA.

2. Real Estate Disclosure requirements related to airport proximity
3. Any related environmental documentation (electronic copy preferred)
4. Other documentation as may be required (ex. related staff reports, etc.)

Additional information For Development Projects:

1. 25 sets of scaled plans, no larger than 11" x 17"
2. Latitude and longitude of development site
3. Building heights relative to mean sea level (MSL)

ALUCP Plans can be accessed at <http://ccag.ca.gov/plansreportslibrary/airport-land-use/>

Please contact C/CAG staff at 650 599-1467 with any questions.

C/CAG Application for Land Use Consistency Determination:

C/CAG Application for Land Use Consistency Determination: Supplemental Information

Agency Name: City of San Carlos

Project Name: 642 Quarry Road Life Science Development

PRROPERTY AND PROJECT DESCRIPTION

An application was submitted to the City of San Carlos for a new life science/research & development project at 642 Quarry Road. The subject site is a 4.71-acre lot at the intersection of Old County Road and Quarry Road. The area is bound by El Camino Real to the west, Highway 101 to the east, Belmont Creek to the north and Taylor Way to the south. The area consists primarily of single-story buildings serving commercial/industrial uses.

The proposed project includes construction of a total of 410,072 square feet of life science/research & development use in one 215,022 square-foot and one 192,650 square-foot building. Both buildings would be six-stories, approximately 100 feet tall, measuring 113 feet to the top of the mechanical screen. The proposed project also includes a 933-stall (233,822 square-foot) parking garage. The garage would include nine floors and one subsurface level, measuring 104 feet to the top of the elevator tower. The project proposes a rezoning from Light Industrial (LI) to Planned Development (PD) to allow a greater floor area ratio (2.0), building height (120 feet), and childcare use.

The site is located within the 60-64dB noise contour, and safety zone 6 within the Airport Land Use Compatibility Plan for the San Carlos Airport.

The proposed project would require approval of rezoning the site to Planned Development, a Planned Development Permit, Design Review, Transportation Demand Management Plan, Development Agreement, Grading/Dirt Haul Certification, and California Environmental Quality Act (CEQA) clearance. An Initial Study/Mitigated Negative Declaration is being prepared.

See enclosed **Attachment** for project site plan, rendering and elevations.

As discussed below, the project is **consistent** with the noise, safety and airspace protection policies of the Airport Land Use Compatibility Plan (ALUCP) for the San Carlos Airport.

The project is located in the Light Industrial (IL) zone and complies with the underlying zoning regulations with the exception of height, floor area ratio and childcare use and as such, requests a zoning map amendment to designate Planned Development to provide for site specific development standards. The project is consistent with the General Plan land use designation of Light Industrial.

DISCUSSION OF RELATIONSHIP TO AIRPORT LAND USE COMPATIBILITY

Noise

The 642 Quarry Road project site is located outside of the airport's 60dB CNEL noise contour (ALUCP Exhibit 4-2 "Future Conditions (2035) Aircraft Noise Contours map). The proposed R&D land use and related structures are considered compatible without restrictions with the 60-64dB noise contour, which prohibits rezoning to residential use due to noise concerns. As such, the proposed project is consistent with the noise policy.

Existing Noise Levels

The project setting is composed of industrial, life science, flex commercial industrial and office use with typical traffic levels. The primary noise surface in the vicinity is from overhead aircraft, surface transportation and industrial uses (City of San Carlos General Plan 2009). Existing Noise level will not be problematic in this proposed R&D project.

Safety

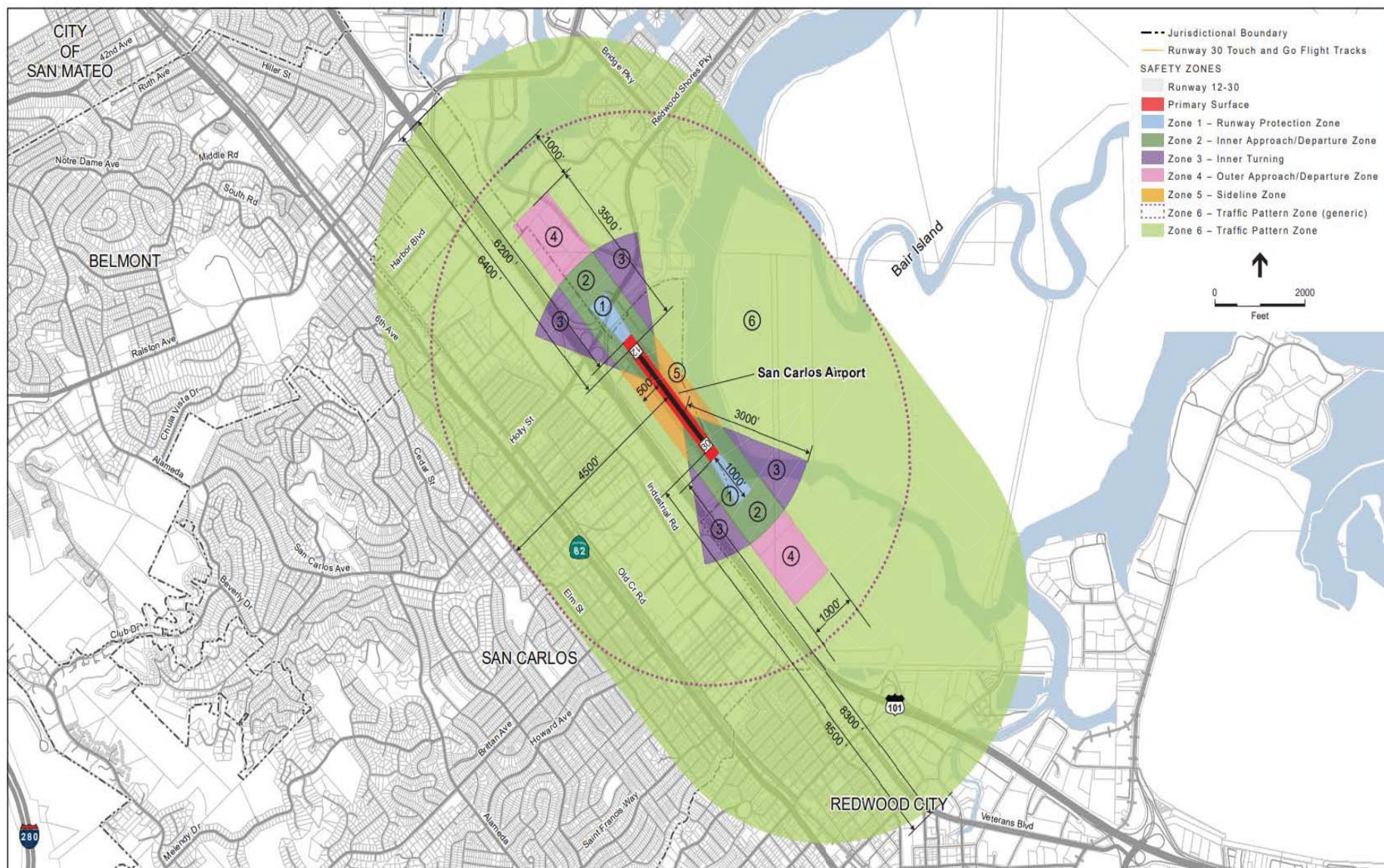
The California Airport Land Use Planning Handbook requires ALUCPs to include safety zones for each runway end. The San Carlos Airport ALUCP includes six safety zones and related land use compatibility criteria. The proposed project site is located inside Safety Zone 6 which allows *max residential densities* (no limit), max nonresidential intensities (no limit) and max single acre (no limit) (Safety Compatibility Criteria for San Carlos Airport are listed on Table 4-4 of the San Carlos ALUCP). Safety Zone 6 does not have limits or restrictions for medical/biological research facilities handling highly toxic or infectious agents.

Airspace Protection

The proposed building heights to the top of the mechanical screen shielding rooftop equipment is 113' and is less than the 152' maximum allowable height set by the Airport Land Use Commission for the San Carlos Airport. The building roof heights are proposed at 100'. Reviewing Table 4-4 Safety Compatibility Criteria, Zone 6 the project will not create height hazard obstruction, smoke, glare, electronic, wildlife attractants, or other airspace hazards. Therefore, the proposed project would be consistent with the airspace policies as established in the adopted 2016 San Carlos ALUCP.

Attachments:

- 642 Quarry Road Life Science Development Project Plan Sheets:
 - Site Plan
 - Rendering
 - Elevations



SOURCE: ESRI, 2014; ESA Airports, 2014

San Carlos Airport ALUCP . 130753
Exhibit 4-3
 San Carlos Airport Safety Zones

<i>For C/CAG Staff Use Only</i>
<i>Date Application Received</i>
<i>Date Application Deemed Complete</i>
<i>Tentative Hearing Dates:</i>
- <i>Airport Land Use Committee</i>
- <i>C/CAG ALUC</i>

C/CAG ALUC 12/18

DRAFT





642 QUARRY ROAD -
NORTH BUILDING

NORTH BUILDING
642 Quarry Road
San Carlos, CA 94070

SITE PLAN

ISSUE:	DATE:	DESCRIPTION:
	02/18/22	SCHEMATIC DESIGN
	04/22/22	50% DESIGN DEVELOPMENT
	07/20/22	100% DESIGN DEVELOPMENT
	09/30/22	50% CONSTRUCTION DOCUMENTS

DRAWN BY: B.KREBS

REVIEWED BY

APPROVED BY:

DES PROJECT NO.: 10294.002

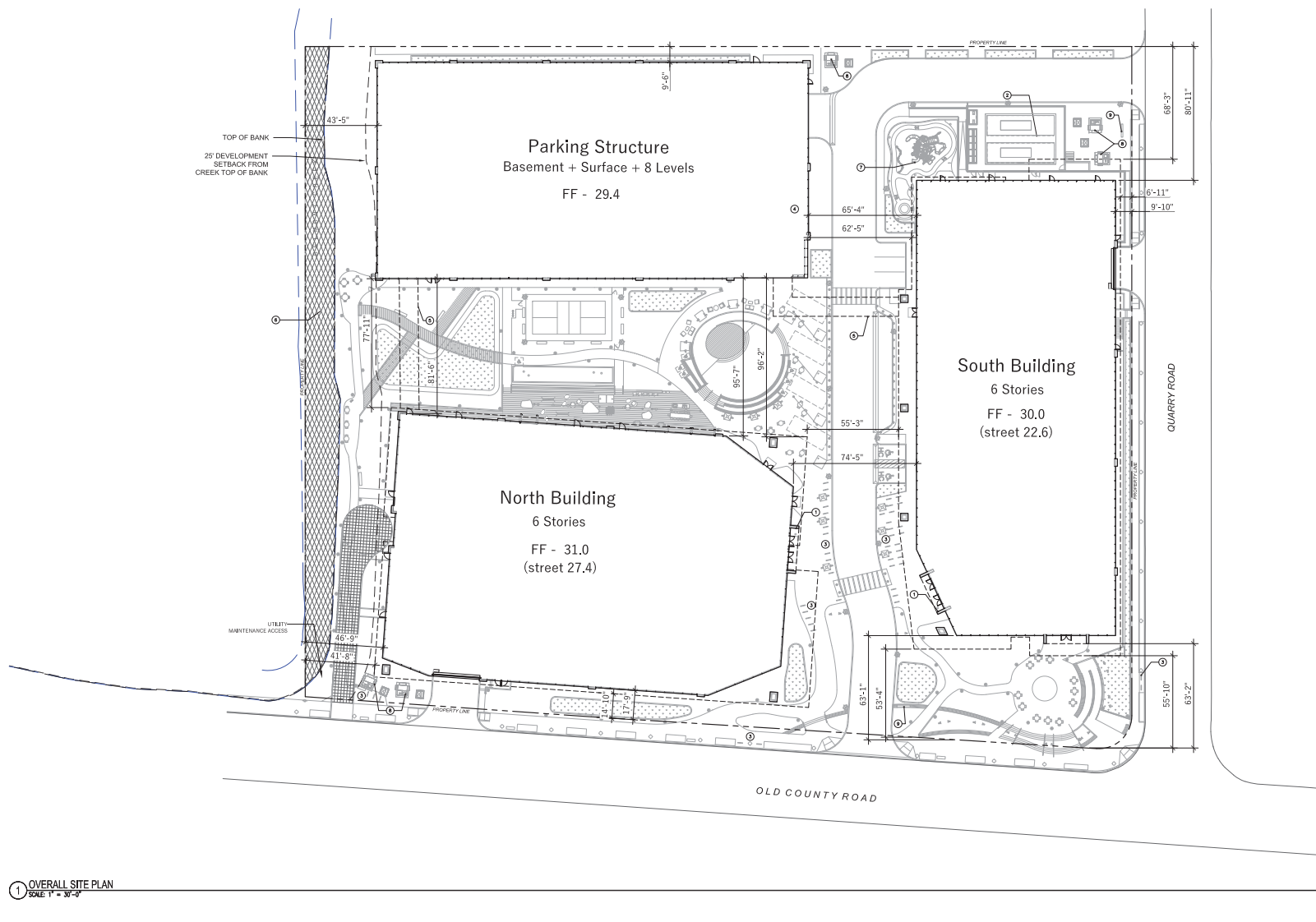


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A1.01

SHEET NO.



GENERAL NOTES

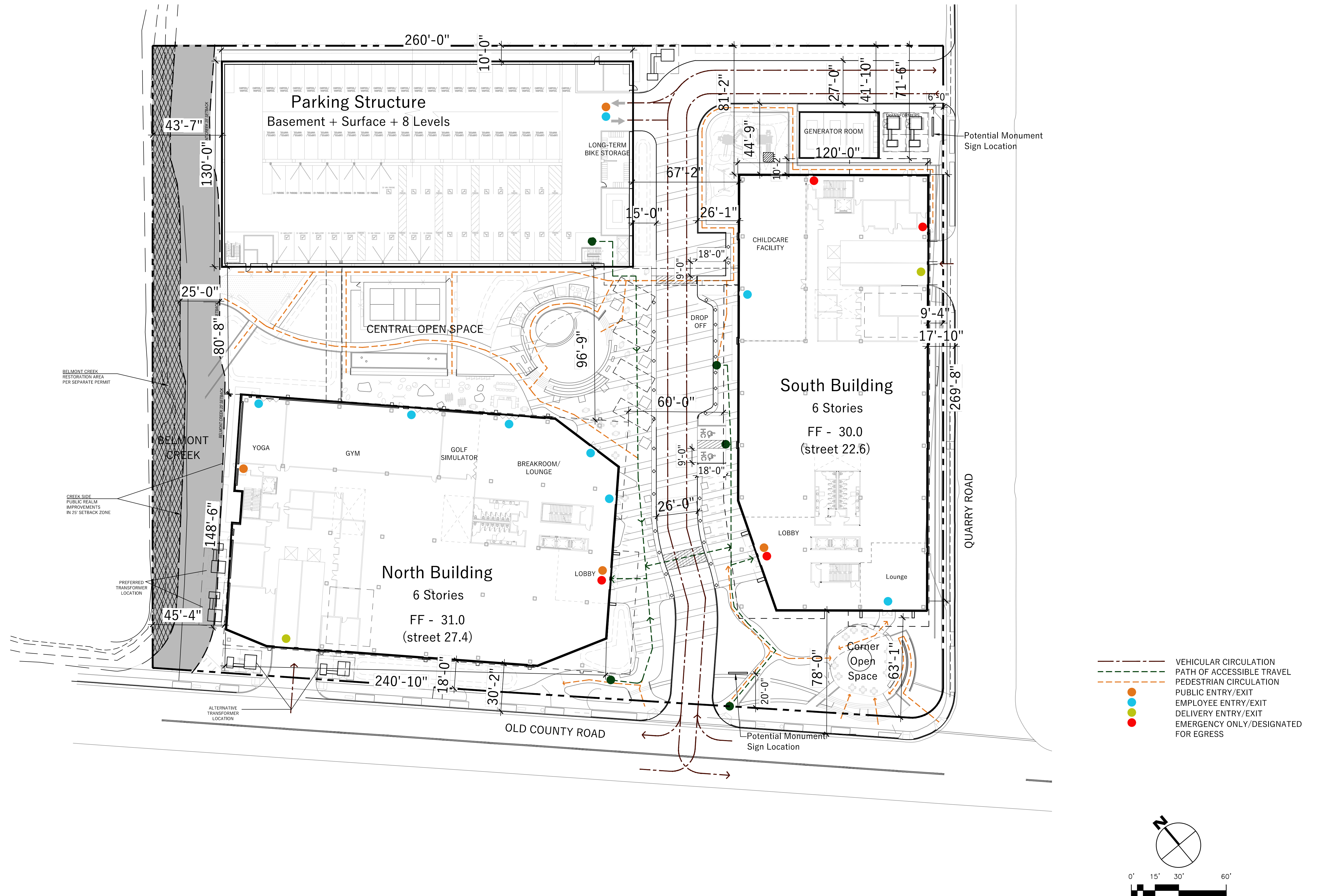
1. THIS DRAWING IS FOR REFERENCE ONLY. THE SITE IMPROVEMENT PACKAGE SHALL BE ISSUED SEPARATELY.
2. FOR GENERAL SYMBOLS LEGEND - SEE SHEET G0.03.
3. FOR ABBREVIATIONS AND GENERAL PROJECT NOTES - SEE SHEET G0.02.
4. ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE IF 1:20 AND A MAXIMUM CROSS SLOPE OF 1:40.
5. ACCESSIBLE WALKS AND SIDEWALKS SHALL BE NO LESS THAN 48" WIDE.
6. INSTALLATION OF FIVE SPINDLED, FIVE PLANK, FIVE SERVICE, UNDERGROUND SYSTEM WORK UNDER SEPARATE SUBMITTAL AND PERMIT. THE PERMIT AND APPROVAL PLANS SHALL BE ON THE JOBSITE AT ANY TIME WORK ON SUD SYSTEM IS IN PROGRESS.
7. BUILDING ADDRESS SHALL BE PROVIDED ON BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER SDC 01C.2. BUILDING SIGNAGE UNDER SEPARATE PERMIT PACKAGE.

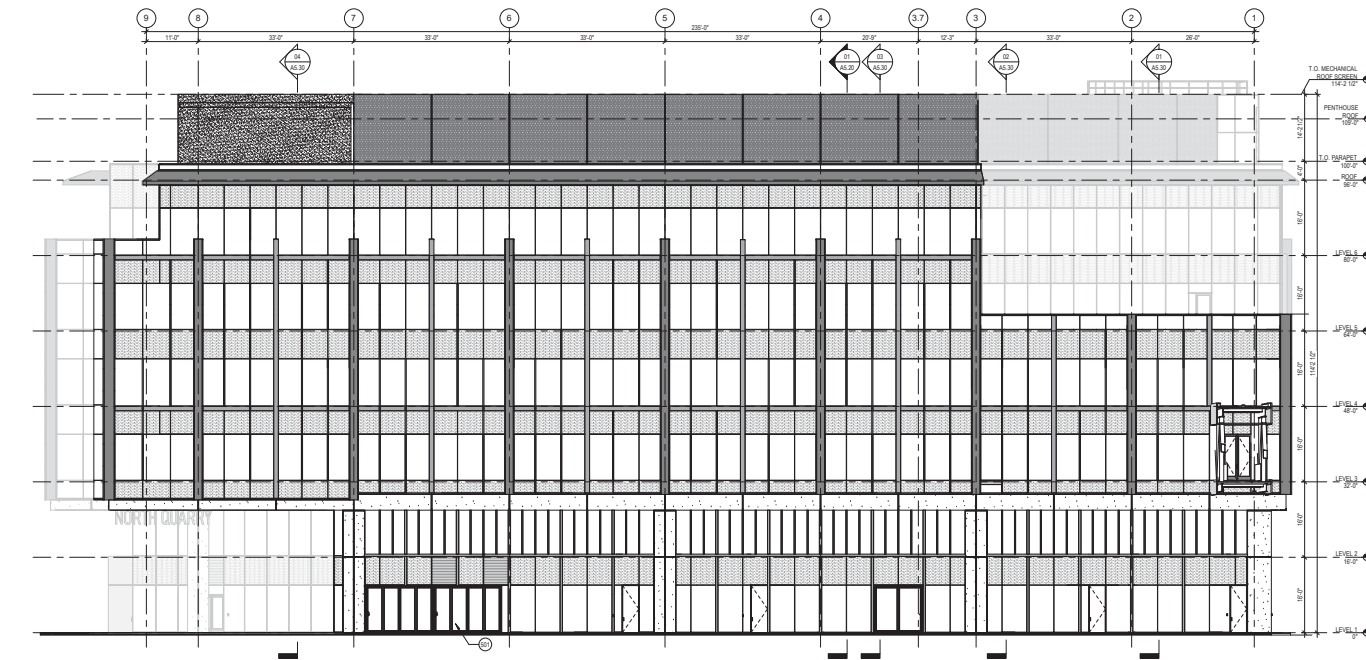
KEYNOTES

1. KNOX BOX
2. GENERATOR ENCLOSURE.
3. VISITOR BIKE PARKING.
4. LONG TERM BIKE PARKING.
5. PEDESTRIAN BRIDGE ABOVE.
6. CREEK RESTORATION UNDER A SEPARATE PERMIT.
7. CHILDREN'S PLAYGROUND EQUIPMENT.
8. TRANSFORMERS
9. BUILDING SIGNAGE

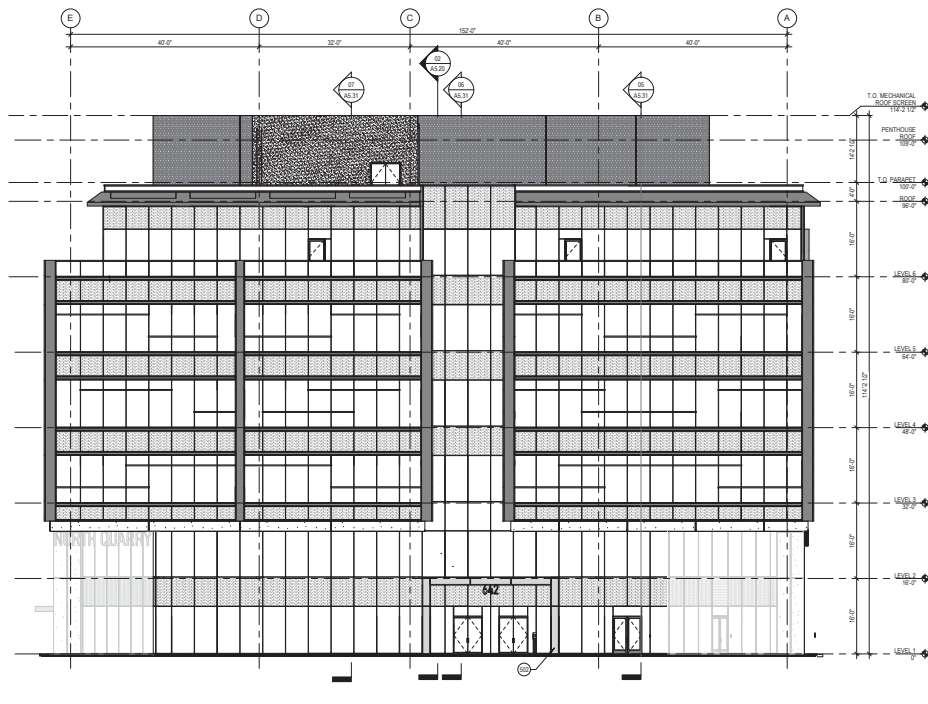
LEGEND

- PROPERTY LINE
 SETBACK
 ACCESSIBLE PATH OF TRAVEL
 ACCESSIBLE ROUTE BETWEEN TRASH ENCLOSURE AND BUILDING ENTRANCE





01 NORTH
3/2" = 1'-0"



02 EAST
3/2" = 1'-0"

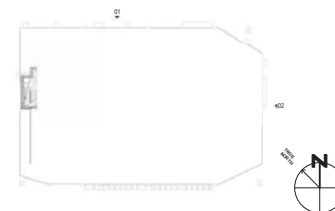
SHEET NOTES

1. SEE ARCHITECTURAL PLAN DRAWINGS FOR TYPICAL GLAZING SPACING AND DIMENSIONS.
2. FOR MULLION TYPES SEE SHEET A5.11 & A5.12.
3. PROVIDE SAFETY GLAZING IN ALL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF GLAZING IS WITHIN A 24" ANCHOR OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" INCHES ABOVE THE WALKING SURFACE.
4. ALL STOREFRONT DOORS SHALL BE INSULATED GLAZING UNITS.
5. FOR ALL CONCRETE AND STEEL COMPONENTS SEE STRUCTURAL DRAWINGS.
6. WALL REVEALS, PARAPET CAP, AND DECORATIVE MOUNTINGS ARE DIMENSIONED TO TOP U.O.A.
7. ALL BUILDING DAMAGE RELATED TO TENANTS SHALL BE SUBMITTED UNDER A SEPARATE PERMIT.
8. PROVIDE CONDUIT AND BACKING FOR FUTURE TENANT BUILDING ILLUMINATED SIGNAGE. COORDINATE WITH OWNER AND ARCHITECT FOR FINAL LOCATION.

KEYNOTES

SD	OPERABLE GLAZING PARTITION TOP
SD	ENTRY PORTAL

KEY PLAN

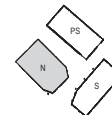


LEGEND

- CLEAR VISION GLASS
- SPANDREL GLASS
- METAL PANEL AT ROOF SCREEN
- METAL PANEL MCAS - UC1188SF GRAPHITE GRAY
- METAL PANEL MCAS - UC1188SF SILVER/STORM
- METAL PANEL MCAS - UC1188SF PLATINUM MCAS
- CEMENT PLASTER
- GFRC WITH 1/2" REVEALS
REVEALS TO WRAP CORNERS UNLESS OTHERWISE NOTED
- MECHANICAL LOUVER ASSEMBLY
- SECURITY CAMERA MOUNTED 12'-0" AT F.F. - U.N.O. REFER TO SECURITY DRAWINGS

DES
ARCHITECTS
ENGINEERS

399 Bradford Street Redwood City, Ca. 94063
Tel: (650) 364-6453
Fax: (650) 364-2618
www.des-aec.com



PRESIDIO BAY VENTURES
1160 Battery Street, Suite 100
San Francisco, CA 94111

642 QUARRY ROAD
NORTH BUILDING

NORTH BUILDING
642 Quarry Road
San Carlos, CA 94070

EXTERIOR ELEVATIONS

DATE	DESCRIPTION
02/18/22	SCHEMATIC DESIGN
04/22/22	50% DESIGN DEVELOPMENT
07/29/22	100% DESIGN DEVELOPMENT
09/30/22	50% CONSTRUCTION DOCUMENTS

DRAWN BY: P. AZOD
REVIEWED BY: J. GAAN
APPROVED BY: K. NORMAN
DES PROJECT NO.: 10294.002

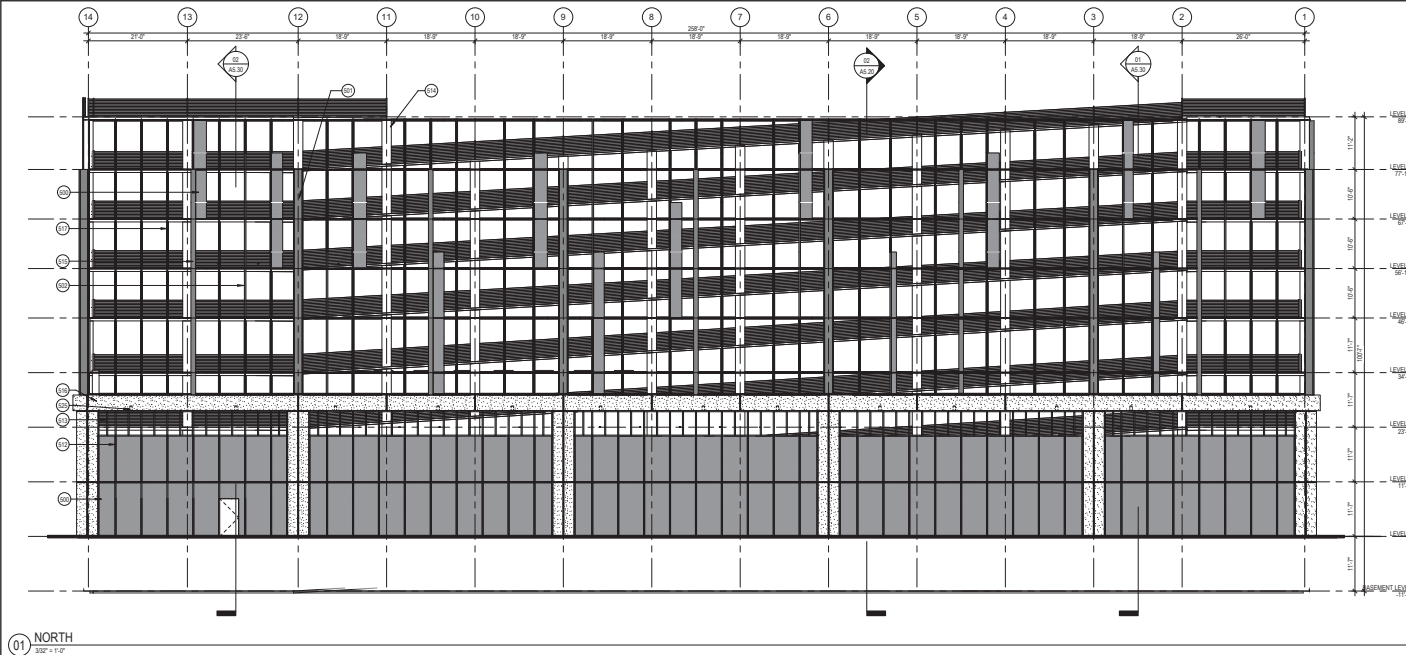
ENGINEER OF RECORD
ARCHITECT OF RECORD

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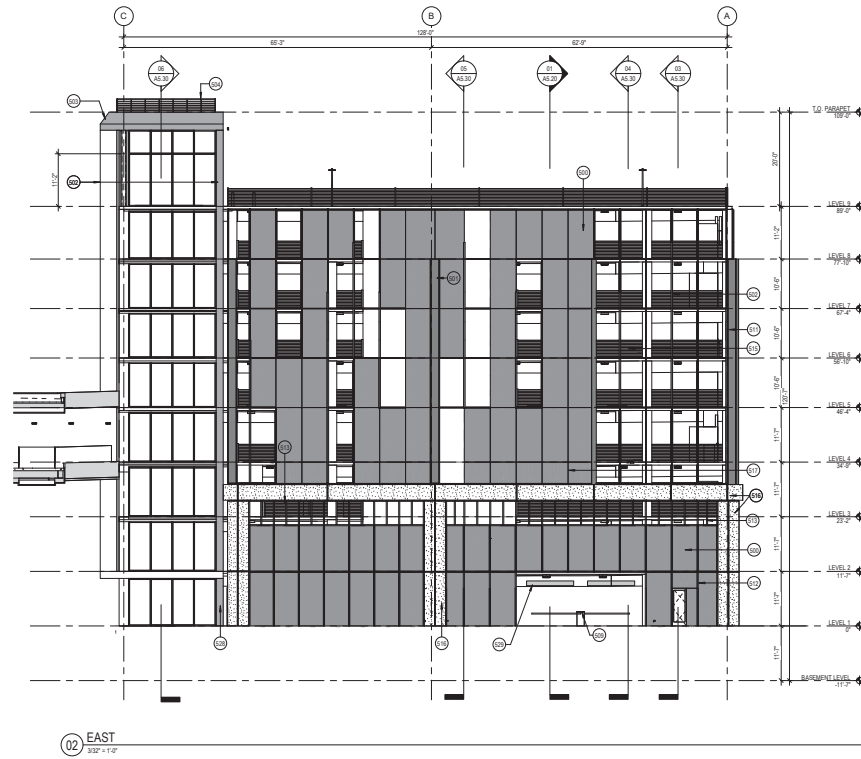
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SHEET NO.



01 NORTH
3/32" = 1'-0"



02 EAST
3/32" = 1'-0"

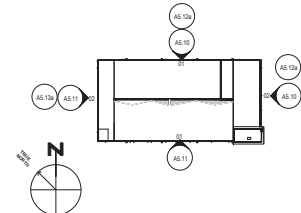
SHEET NOTES

1. SEE ARCHITECTURAL PLAN DRAWINGS FOR TYPICAL CLADDING SPACING AND DIMENSIONS.
2. FOR ALL CONCRETE AND STEEL COMPONENTS SEE STRUCTURAL DRAWINGS.
3. WALL REVEALS, PARAPET GAP, AND DECORATIVE MOLDINGS ARE DIMENSIONED TO TOP U.O.N.
4. PROVIDE CONDUIT AND BACKING FOR FUTURE TOWARD BUILDING ILLUMINATED SIGNAGE. COORDINATE WITH OWNER AND ARCHITECT FOR FINAL LOCATION.
5. FOR EXTERIOR SIGNAGE ATTACHMENTS SEE DETAIL XXXXX.
6. ALL CEILING HEIGHTS ARE 8' 0" U.O.N. CEILING GRIDS TO BE TYPICALLY CENTERED IN ROOMS U.O.N.
7. REFER TO MECHANICAL DRAWINGS FOR HVAC LOCATION.

KEYNOTES

- 000 G GA PERFORATED ALUMINUM PANEL- 60% OPENING (TO MATCH PATTERN COLOR: 16GA 5/16 RD 38 STD)
- 001 PRE-FINISHED TO STEEL METAL, 30"X30" SQUARE
- 002 PRE-FINISHED METAL VERTICAL FINE
- 003 PRE-FINISHED METAL HORIZONTAL FINE
- 004 1/2" HIGH STEEL GUARD RAIL
- 005 ACCESS CONTROL GATE
- 006 PRE-FINISHED METAL CORNER SHAPE W/ KYNAR FINISH
- 007 WALLON SYSTEM TO RECEIVE MESH PANELS, LEVEL 1 & 2 ONLY
- 008 STEEL WALLON SYSTEM TO MATCH LEVEL 1 & 2 BUT WITHOUT MESH
- 009 CONC. COLUMN TO EXTEND ABOVE ROOF - SEE STRUCTURAL DRAWINGS FOR LOCATION
- 010 PRE-FINISHED CUSTOM METAL VERTICAL EXTENSION SHAPE - 12" SQUARE
- 011 PRE-FINISHED FRAME- LEVEL 1 THROUGH 2 ONLY
- 012 1/4" REVEAL
- 013 ACCESSORY DOWNLIGHT IN SOFFIT - SEE ELECTRICAL PLAN
- 014 METAL INFILL PANELS TO MATCH WALLON COLOR, LEVEL 1 ONLY
- 015 VERTICAL VENTILATION GRATE - SEE DETAILS 1 & 2 AND 3

KEY PLAN

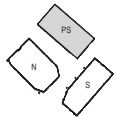


LEGEND

- CLEAR VISION GLASS
- METAL PANEL
- PERFORATED METAL PANEL
- CEMENT PLASTER
- GPIC WITH 1/4" REVEALS
REVEALS TO WRAP CORNERS UNLESS OTHERWISE NOTED
- SECURITY CAMERA MOUNTED 12'-0" A.F.F. - U.O.N. REFER TO SECURITY DRAWINGS

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642 QUARRY ROAD
PARKING STRUCTURE

PARKING STRUCTURE
642 Quarry Road
San Carlos, CA 94070

EXTERIOR ELEVATIONS

DATE	DESCRIPTION
02/18/2022	SCHEMATIC DESIGN
04/22/22	50% DESIGN DEVELOPMENT
07/22/22	100% DESIGN DEVELOPMENT
09/30/22	50% CONSTRUCTION DOCUMENTS

DRAWN BY: G. SUAREZ / S. ALTI
REVIEWED BY: J. GAAN
APPROVED BY: K. NORMAN
DES PROJECT NO.: 10294.002

ENGINEER OF RECORD ARCHITECT OF RECORD

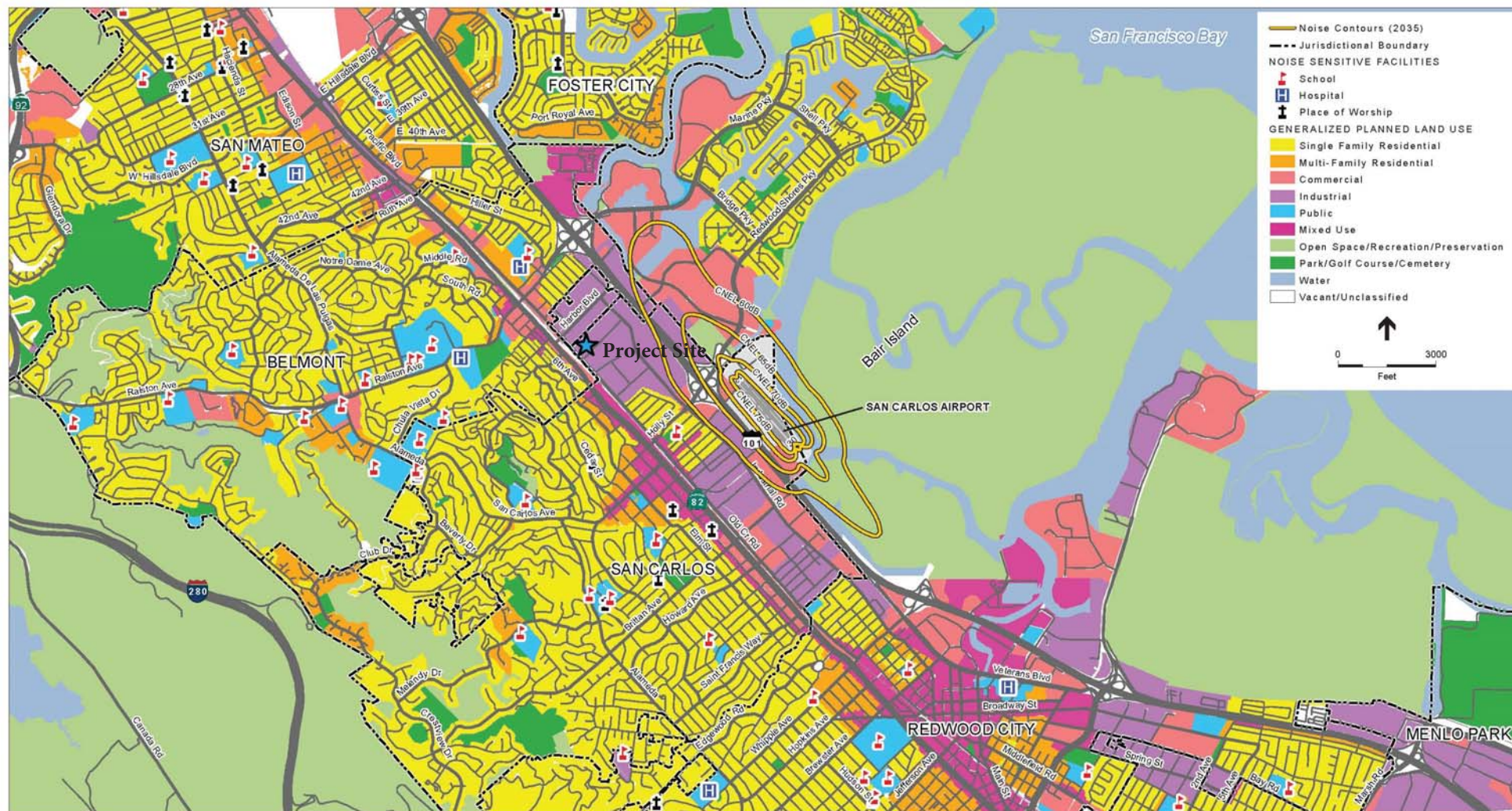
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A5.10

SHEET NO.



SOURCE: Belmont, 1982; San Mateo County, 1996; Foster City, 1993; Menlo Park, 1994; San Carlos, 2009; City of San Mateo, 2010; Redwood City, 2010; ESRI, 2014; ESA Airports, 2015

San Carlos Airport ALUCP . 130753

Exhibit 4-2
Future Conditions (2035) Aircraft Noise Contours



SOURCE: ESRI, 2014; ESA Airports, 2014

San Carlos Airport ALUCP - 130753
Exhibit 4-3
 San Carlos Airport Safety Zones



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2022-AWP-21027-OE

Attachment 5

Issued Date: 02/15/2023

Logan Daniels
Presidio Bay Ventures
160 Pacific Avenue, Suite 204
San Francisco, CA 94111

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Commercial Use Building 642 Quarry North Building
Location:	San Carlos, CA
Latitude:	37-31-00.75N NAD 83
Longitude:	122-16-11.84W
Heights:	28 feet site elevation (SE) 119 feet above ground level (AGL) 147 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

 At least 10 days prior to start of construction (7460-2, Part 1)
 X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 08/15/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (206) 231-2989, or dan.shoemaker@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-AWP-21027-OE.

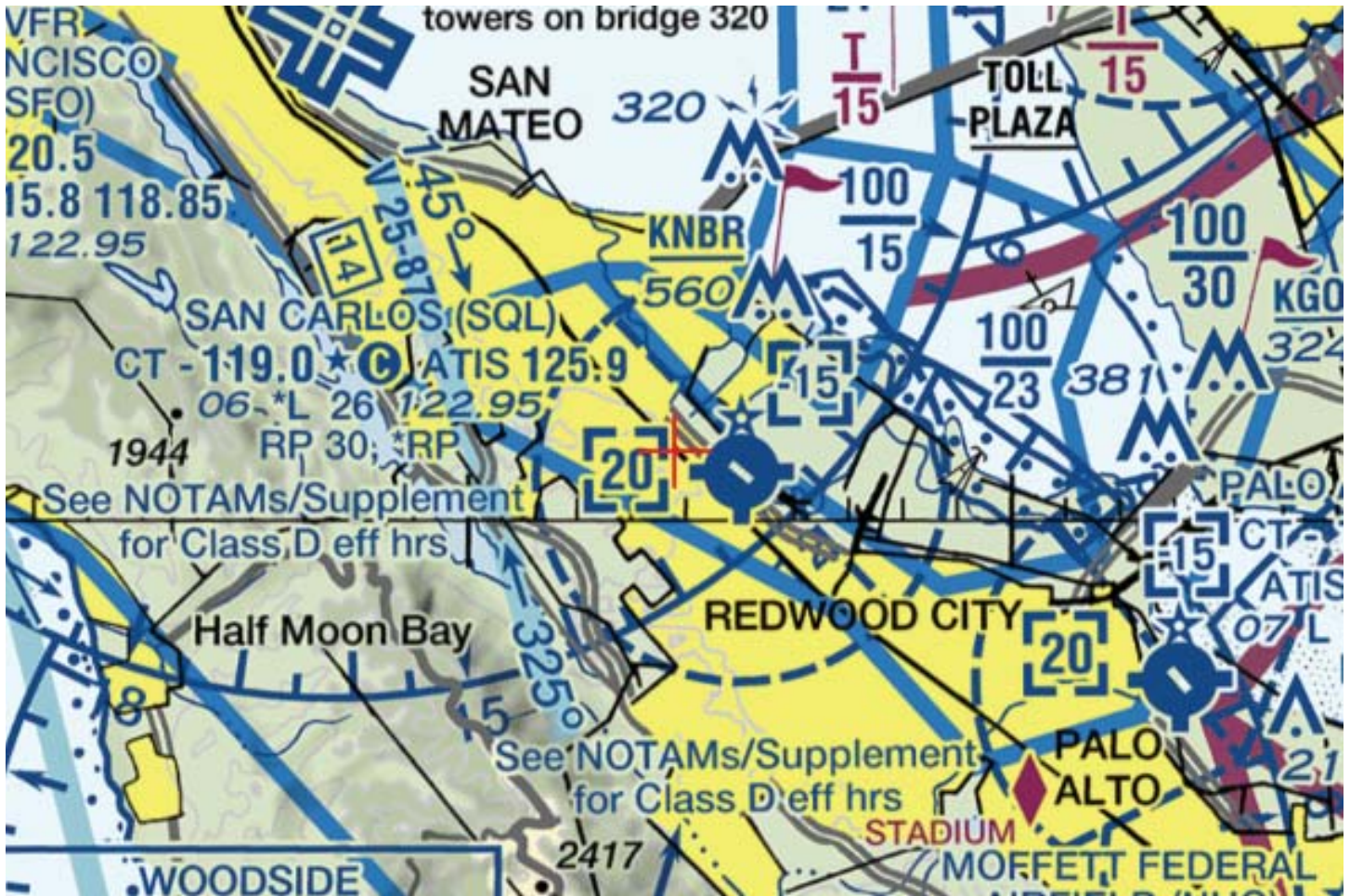
Signature Control No: 561626252-572981292

(DNE)

Daniel Shoemaker
Supervisor

Attachment(s)
Map(s)







Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2022-AWP-21028-OE

Issued Date: 02/15/2023

Logan Daniels
Presidio Bay Ventures
160 Pacific Avenue, Suite 204
San Francisco, CA 94111

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building 642 Quarry Parking Structure
Location:	San Carlos, CA
Latitude:	37-31-02.92N NAD 83
Longitude:	122-16-09.36W
Heights:	28 feet site elevation (SE)
	113 feet above ground level (AGL)
	141 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

 At least 10 days prior to start of construction (7460-2, Part 1)
 X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 08/15/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

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NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

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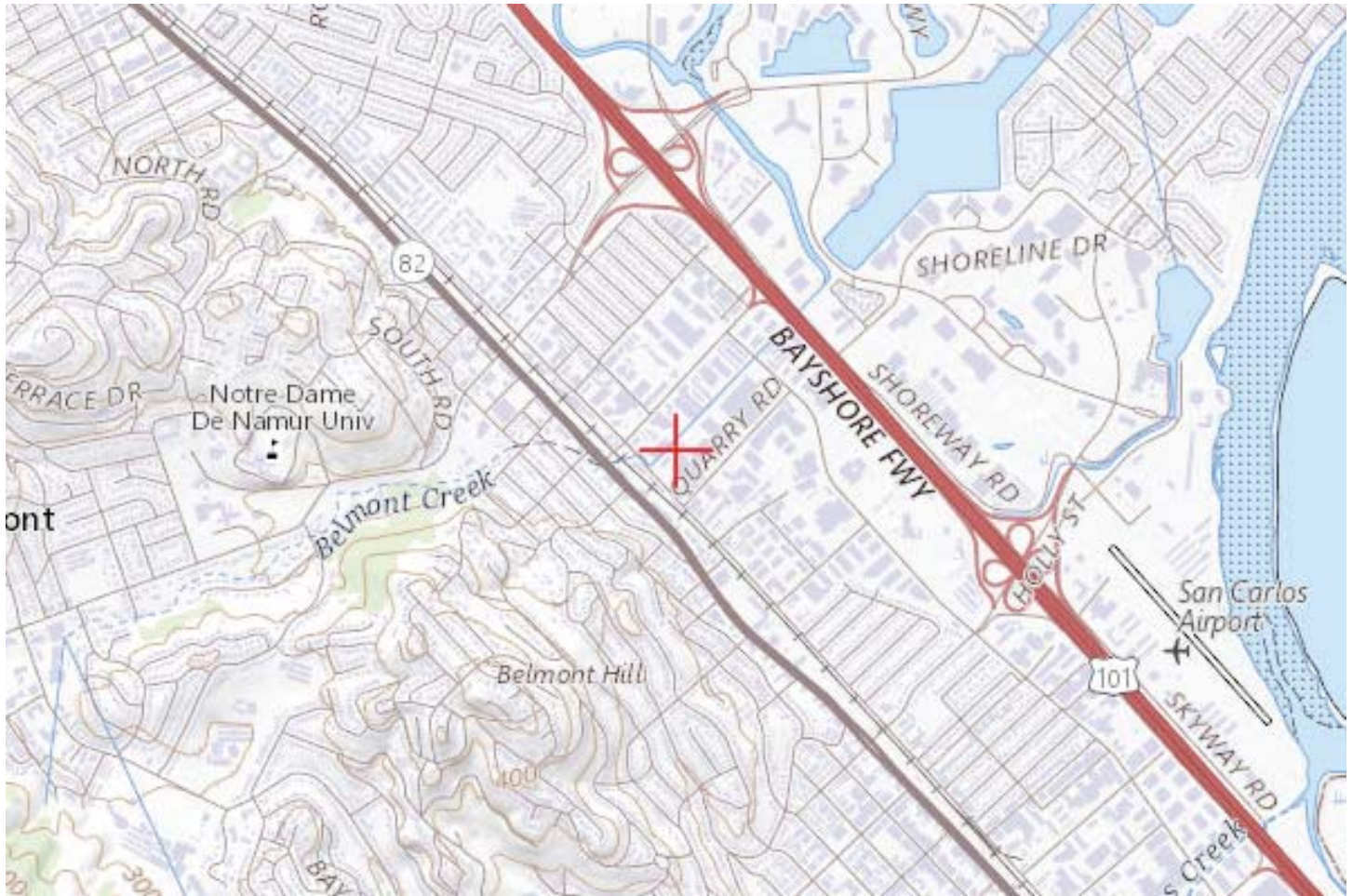
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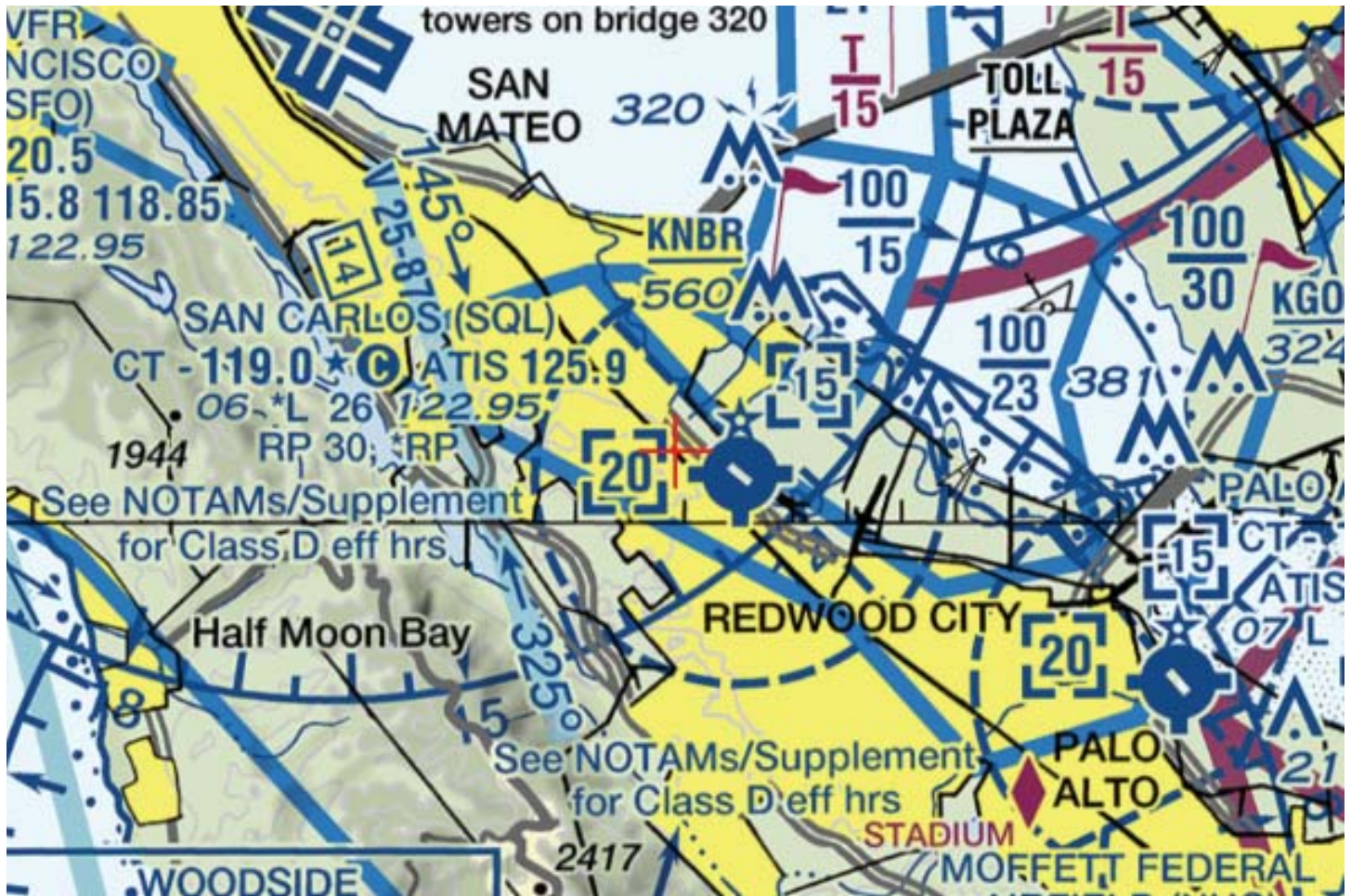
Signature Control No: 561626654-572981294

(DNE)

Daniel Shoemaker
Supervisor

Attachment(s)
Map(s)







Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2022-AWP-21026-OE

Issued Date: 02/15/2023

Logan Daniels
Presidio Bay Ventures
160 Pacific Avenue, Suite 204
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**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Commercial Use Building 642 Quarry South Building
Location:	San Carlos, CA
Latitude:	37-30-59.77N NAD 83
Longitude:	122-16-07.51W
Heights:	28 feet site elevation (SE) 119 feet above ground level (AGL) 147 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

 At least 10 days prior to start of construction (7460-2, Part 1)
 X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 08/15/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (206) 231-2989, or dan.shoemaker@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-AWP-21026-OE.

Signature Control No: 561626030-572981293

(DNE)

Daniel Shoemaker
Supervisor

Attachment(s)
Map(s)



